



COMHAIRLE CONTAE
CHEATHARLACH
CARLOW COUNTY COUNCIL

Comhairle Contae Cheatharlach

Carlow County Council

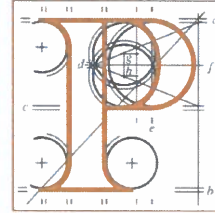
N80 Leagh Bends Scheme

- **County Carlow CPO No. 1 of 2024**
- **Planning Application under Section 177AE**

An Bord Pleanála Submissions

**Carlow County Council,
County Buildings,
Athy Road,
Carlow,
Co. Carlow,
R93 E7R7.**

Our Case Number: ABP-321416-24



**An
Bord
Pleanála**

Carlow County Council
c/o Padraig O'Gorman
County Buildings
Athy Road
Co. Carlow
R93E7R7



Date: 20 March 2025

Re: Proposed development along a section of the N80 Road known as the N80 Leagh Bends Scheme. A Natura Impact Statement (NIS) accompanies this application
In the Townlands of Graiguenaspiddogue, Castletown, Leagh, Ballybeg, Kilballyhue and Kilcoole,
County Carlow

Dear Sir / Madam,

Enclosed for your information are two copies of submission(s) received by the Board in relation to the above-mentioned proposed development. (See attached list of names).

Please ensure that a copy of this/these submission(s) is available for public inspection at the offices of the planning authority.

If you have any queries in relation to the matter please contact the undersigned officer of the Board at laps@pleanala.ie

Please quote the above-mentioned An Bord Pleanála reference number in any correspondence or telephone contact with the Board.

Yours faithfully,

Aisling Reilly
Executive Officer
Direct Line: 01-8737131

AA07

Teil	Tel	(01) 858 8100
Glaó Áitiúil	LoCall	1800 275 175
Facs	Fax	(01) 872 2684
Láithreán Gréasáin	Website	www.pleanala.ie
Ríomhphost	Email	bord@pleanala.ie

64 Sráid Maoilbhride	64 Marlborough Street
Baile Átha Cliath 1	Dublin 1
D01 V902	D01 V902

ABP-321416-25

List of Submissions:

Total: 24

1. Department of Housing, Local Government and Heritage - yes
2. DTN Electrical Ltd
3. Tom Nolan
4. David Nolan
5. Thomas and Mary Nolan
6. Albert Glynn
7. Allan Glynn
8. Rep of late David Glynn
9. Laura Nolan
10. John and Marie Brooks
11. O'Toole Energy Limited
12. John and Maura Nolan
13. John Nolan
14. CPO Ref. 123
15. Caitriona Farrell
16. Ronan Farrell
17. John Farrell
18. Michael and Maureen Regan and Others
19. Matthew Kennedy and Others
20. Donal Murphy
21. ~~Noel Egan~~ NOEL GLYNN
22. John and Elizabeth Wall
23. Uisce Éireann
24. John and Heather Shirley

Aisling Reilly

From: LAPS
Sent: Tuesday 4 February 2025 11:38
To: Aisling Reilly
Subject: FW: Section 177AE - N80 Leagh Bends Scheme
Attachments: S177AE N80 Leagh Bends.pdf

From: Housing Manager DAU <Manager.DAU@npws.gov.ie>
Sent: Friday 31 January 2025 09:30
To: LAPS <laps@pleanala.ie>
Cc: SIDS <sids@pleanala.ie>
Subject: Section 177AE - N80 Leagh Bends Scheme

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Your Ref: ABP-321416-24

Our Ref: S177AE N80 Leagh Bends

Good morning,

Please find attached heritage-related observations/recommendations for the above mentioned consultation.

I should be grateful if you could acknowledge receipt of same.

Regards,

Brian Bone
Executive Officer

An Roinn Tithíochta, Rialtais Áitiúil agus Oidhreachta
Department of Housing, Local Government and Heritage

Aonad na nIarratas ar Fhorbairt
Development Applications Unit

Ofígi an Rialtais, Bóthar an Bhaile Nua, Loch Garman, Contae Loch Garman, Y35 AP90
Government Offices, Newtown Road, Wexford, Co Wexford, Y35 AP90

An Roinn Tithíochta,
Rialtais Áitiúil agus Oidhreachta
Department of Housing,
Local Government and Heritage



Your Ref: ABP-321416-24
Our Ref: S177AE N80 Leagh Bends
(Please quote in all related correspondence)

31 January 2025

The Secretary
An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V902

Via email to: laps@pleanala.ie

Re: Notification under Section 177AE (4) (a) of the Planning and Development Act 2000 as amended (as inserted by Section 5 of the Planning and Development (Amendment) Act 2010.

Re: Section 177AE application by Carlow County Council for N80 Leagh Bends Scheme between Graiguenaspiddoge and Castletown, Co Carlow

A chara,

I refer to correspondence received in connection with the above.

Outlined below are heritage-related observations/recommendations co-ordinated by the Development Applications Unit under the stated headings.

Archaeology

It is noted that the Planning Report submitted as part of the planning application incorporates a desk-based Archaeological Impact Assessment (AIA), which was carried out in relation to the proposed development by Colm Flynn Archaeology (Planning Report Chapter 14 and Appendix 16; dated November 2024).

In addition to a walkover survey, it is noted that the AIA has been informed by the results of Advance Archaeological Geophysical Survey and Archaeological Monitoring of Advance Site Investigation Works. It is noted that the proposed scheme will have direct impacts to a number of areas of archaeological potential including a number of stream crossings. Advance Archaeological Test Excavation, Advance Underwater/Wade Surveys and Advance



Metal Detection Surveys should be carried out prior to the commencement of any development works.

Therefore, the Department advises that the following should be included as a condition of any grant of permission. Note, these recommended conditions align with Sample Conditions C4 and C5 as set out in *OPR Practice Note PN03: Planning Conditions* (October 2022), with appropriate site-specific additions/adaptations based on the particular characteristics of this development and informed by the findings of the Environmental Impact Assessment Report.

Archaeological Requirements:

1. All mitigation measures in relation to archaeology and cultural heritage as set out in Chapter 14 and Appendix 16 of the Planning Report (dated November 2024) shall be implemented in full, except as may otherwise be required in order to comply with the conditions of this Order.
 - a. A Project Archaeologist shall be appointed to oversee and advise on all aspects of the scheme from design, through inception to completion.
 - b. The Project Archaeologist shall liaise with the National Monuments Service of the Department and the Planning Authority to agree in advance an overall strategy for archaeological works to be carried out both in advance of and in parallel with construction of the development.
 - c. This shall include the scope of any Advance Test Excavation, Advance Underwater/Wade Surveys, Advance Metal Detection Surveys and Archaeological Monitoring as well as any additional mitigation measures that may be required to protect archaeological heritage.
2. This shall include the location, extent and method of demarcation for any Exclusion Zones around the external-most elements of vulnerable Heritage Assets that are to be preserved in situ.
3. The Construction Environment Management Plan (CEMP) shall include the location of any and all archaeological or cultural heritage constraints relevant to the proposed development as set out in Chapter 14 and Appendix 16 of the Planning Report (dated November 2024) and by any subsequent archaeological investigations associated with the project. The CEMP shall clearly describe all identified likely archaeological impacts, both direct and indirect, and all mitigation measures to be employed to protect the



archaeological or cultural heritage environment during all phases of site preparation and construction activity.

4. The planning authority and the National Monuments Service of the Department shall be furnished with a final archaeological report describing the results of all archaeological monitoring and any archaeological investigative work/excavation required, following the completion of all archaeological work on site and any necessary post-excavation specialist analysis. All resulting and associated archaeological costs shall be borne by the developer.

Reason: To ensure the continued preservation (either *in situ* or by record) of places, caves, sites, features or other objects of archaeological interest.

Nature Conservation

The project consists of the realignment and upgrading of approximately 3 kilometres of the N80 National Secondary route between Graiguenaspiddoge and Castletown, realignment of the Graiguenaspiddoge Castletown Crossroads, diversion of the Kilmeany Stream and replacement of the existing culvert with a new culvert crossing the N80.

Matters relating to Appropriate Assessment

As outlined in the Natura Impact Assessment prepared by Malone O'Regan Environmental, a large stand of Japanese knotweed (*Fallopia japonica*) was identified at Castletown Crossroads at the western junction with the L30504 Local Road (TN1 on Figure 5-1). Himalayan balsam (*Impatiens glandulifera*) was identified at Graiguenaspiddoge Crossroads at the eastern junction with the L3050 Local Road (TN2 on Figure 5-1). Both Japanese knotweed and Himalayan balsam are non-native, highly invasive plant species subject to restrictions under Regulations 49 and 50 of the European Communities (Birds and Natural Habitats) Regulations 2011 (S.I. 477 of 2011).

The Department considers that mitigation must be included so that these species do not spread during the construction phase of this development. This is to protect Natura 2000 sites, which are hydrologically connected to this development site. Further information is required.



Matters related to Ecological Impact Assessment

The Department understands that in accordance with the requirements of Article 120 of the Planning and Development Regulations, 2001 (as amended) the local authority has carried out a screening determination of the proposed development and has concluded that there is no real likelihood of significant effects on the environment arising from the proposed development and a determination has been made that an Environmental Impact Assessment is not required.

However, given the relatively large scale of the project and the requirement to remove a significant amount of hedgerow and hedgerow/treeline (approximately 3.33 kilometres), new drainage ditches (1.65 kilometres) as well as the planned diversion of the Kilmeaney stream, the Department considers that an Ecological Impact Assessment is required in this case. This is in accordance with policy objectives NH. P2¹ and NH. P9² of the Carlow County Development Plan 2022-2028 as well as Guidance on the Strict Protection of Certain Animal and Plant Species under the Habitats Directive in Ireland, which must be adhered to (<https://www.npws.ie/sites/default/files/files/article-12-guidance-final.pdf>).

It appears that the road widening project will require the removal of a large quantity of hedgerow and hedgerow/treeline, which may provide habitat for bat species. Hedgerows within the project area are described as a key feature of the Site, consisting of predominantly well-structured and good-quality trees and hedgerows. Bat species are strictly protected under the Wildlife Act, 1976, as amended, as well as under Annex IV of the Habitats Directive (92/43/EEC). The Department considers that a bat survey should be carried out by a suitably qualified ecologist at appropriate times of the year prior and mitigation measures put in place, where required. The Department recommends that a bat survey is carried out in accordance with Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th Ed.) Collins, 2024).

The Department further recommends that a badger survey is carried out with the extent of the survey defined with regard to Guidelines for the Treatment of Badgers during the Construction of National Road Schemes (NRA, 2005). Mitigation measures to facilitate safe mammal crossing should be considered, including underpasses and mammal fencing.

¹ NH. P2 Ensure, as far as is practicable, that development does not adversely impact on wildlife habitats and species, and that biodiversity is conserved for the benefit of future generations in the interests of sustainability. This will include moving towards no net loss of biodiversity from plans adopted by and projects granted permission/authorised by the Council

² NH. P9 To promote the carrying out of ecological/habitat assessments to inform the layout and design of development proposals and ensure they integrate the protection and enhancement of biodiversity and landscape features wherever possible, by minimising adverse impacts on existing habitats (whether designated or not) and by including mitigation and/or compensation measures, as appropriate.



The Department notes that it is proposed to extensively plant wildflowers over the length of the road scheme. The Guidance document 'Pollinator-friendly management of Transport Corridors'³ should be adhered to. The seed should be of local provenance.

The removal of hedgerow, scrub and trees must take place outside the bird nesting season (1 March to 31 August inclusive).

You are requested to send any further communications to this Department's Development Applications Unit (DAU) at: manager.dau@npws.gov.ie

Is mise, le meas,

Cormac O'Flaherty
Higher Executive Officer
Development Applications Unit
Administration

³ <https://pollinators.ie/transportcorridors/>

An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V902

AN BORD PLEANÁLA	
LDG- _____	
ABP- _____	
30 JAN 2025	
Fee: € _____	Type: _____
Time: <u>8:52</u>	By: <u>Post</u>

29TH January 2025

Re: An Bord Pleanála Reference JP01.321416 - N80 Leagh Bends Scheme in the townlands of Graiguenaspiddogue, Castletown, Leagh, Ballybeg, Kilballyhue and Kilcoole, Co. Carlow

To whom it concerns.

I/we wish to make the following submission regarding the above referenced development.

We request that the matters set out hereunder are given full consideration by An Bord Pleanála in the assessment and determination of the proposal.

The scheme drawings show changes to the roadway serving our lands and the access arrangements to our Business/lands.

My/our Business/lands are contained in the following folio's:

➤ CW12769F – Plot B – DTN Electrical Ltd

See drawing no. 19165-01-0116 included to show these lands relative to the proposals and to identify our concerns.

As also shown/highlighted in red on drawing no. 19165-01-0116 included, we have the following observations/comments:

Item no. 2 - The design leaves another small plot of ground fronting Plot B. This area will require regular maintenance and upkeep. I /we would be happy to take ownership of this parcel of land and enter into any discussions with Carlow County Council in this regard. Should the above not be possible confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented? I/we request that provision is included to secure the lands to prevent unwanted parking of vehicles, dumping etc.

- **Item no. 3** – A new access is proposed directly opposite/near the existing entrance to our land and business (Plot B and C). This will generate a new entrance on this

part of roadway and lead to poor sightline visibility to the north with a driver having to look over their shoulder given the curvature of the road, we also do not want unwanted parking of vehicles/dumping in this gateway.

- **Item no. 3.1** - A better location for entrance to the plot of lands mentioned above in item no. 3 would be off the new entrance way to Glynn's Buses property. This would be a superior and safer arrangement from a traffic safety perspective and should be required by condition should a grant of any consent issue.
- **Item no. 4** – Please note again ownership of the lands in plot D is under dispute and Tom & Mary Nolan are the beneficial owners of this land, I/we are supportive of the proposal to erect a gate at the end of the cul-de-sac road in front of our lands (where plots C and D front the road).
The proposal to undertake wildflower planting along the removed section of roadway is not considered an effective way of removing this roadway! We will have strong objections to this It will require regular maintenance and upkeep and may not prevent unwanted access to the lands/dumping etc.
This area is in close proximity to our lands, homes and business and security of our property is of paramount importance.
I/we request that the existing hedgerow bounding Plot D to the existing roadway is removed and the road incorporated into the field in Plot D. This would be a permanent solution to this issue as we would have control of the areas to carry out regular maintenance and up keeping of the land for and prevent unwanted access/dumping on the land.
- **Item no. 5** – I/we have marked an area on the attached drawing located south of the new entrance to Glynn's Busses. Confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented.
- **Item no. 6** - The existing length of roadway running from the N80 to the east, I/we request that existing roadway is removed and this area incorporated back into the adjoining field in a similar manner to item 4 above. This will be a permanent solution to the future use and security of this land.
- **Item no. 7** - A construction depot is proposed on the east side of the N80 opposite Glynn's Busses Confirmation is sought on what will happen to this area once the scheme is completed. It is recommended that the area is returned back into agriculture use and is securely fenced to prevent unwanted parking of vehicles/dumping etc.

Important note - Should permission be granted I /we request that flexibility is allowed to agree design details such a boundary treatments landscaping, gates, fencing that effect all our properties and that the Carlow County Council consult with ourselves regarding which works do affect us. We requested that native full height hedging should be put back in as well along with the fencing to secure the lands, to benefit wildlife and to try bring the area back as much as possible to what was natively there before work begun.

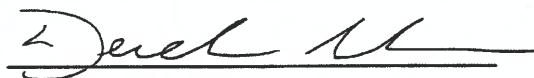
It is critical that vehicular access is provided to our property/ business at all times throughout the construction stages of the development.

We are happy to discuss our concerns and can be contacted on

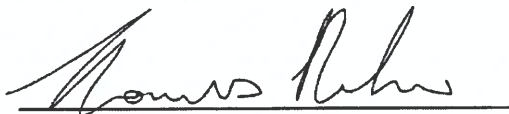
Derek Nolan – (087) 2495208

Tom Nolan – (087) 6166696

Yours sincerely

A handwritten signature in black ink, appearing to read 'Derek Nolan', written over a horizontal line.

Derek Nolan (Director)

A handwritten signature in black ink, appearing to read 'Tom Nolan', written over a horizontal line.

Tom Nolan (Director)

DTN Electrical Ltd

Hillview

Graignaspideogue

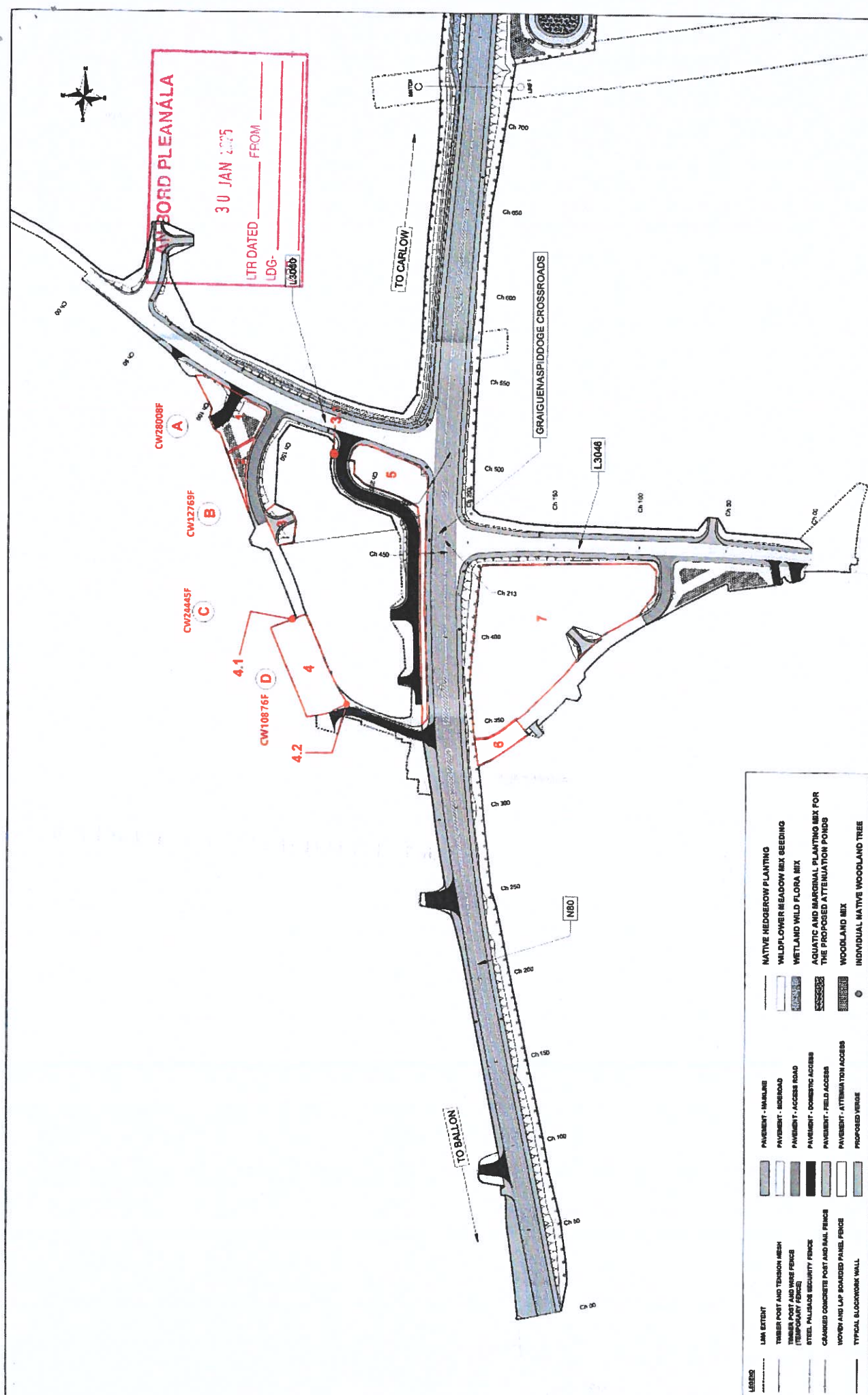
Nurney

Co. Carlow

Folio no. CW12769F



AMBORD PLEANÁLA
 30 JAN 2025
 LTR DATED _____ FROM _____
 LDG- _____
 L30046



LEGEND	
	LIN EXTENT
	TIMBER POST AND TENSION MESH
	TIMBER POST AND WIRE FENCE (TEMPORARY FENCE)
	STEEL PALISADE SECURITY FENCE
	CONCRETE CONCRETE POST AND RAIL FENCE
	WOVEN AND LWP SPUNNET PANEL FENCE
	TYPICAL BLOCKWORK WALL
	PAVEMENT - MARLBLE
	PAVEMENT - SIDEROAD
	PAVEMENT - ACCESS ROAD
	PAVEMENT - DOMESTIC ACCESS
	PAVEMENT - FIELD ACCESS
	PAVEMENT - ATTENUATION ACCESS
	PROPOSED FENCE
	MATVE HEDGEROW PLANTING
	WILDFLOWER MEADOW MIX SEEDING
	WETLAND WILD FLORA MIX
	AQUATIC AND MARSHAL PLANTING MIX FOR THE PROPOSED ATTENUATION PONDS
	WOODLAND MIX
	INDIVIDUAL NATIVE WOODLAND TREE

PROJECT TITLE N80 LEASH BENDS SCHEME

Drawn By: _____

Scale: 1:1000

Date: Oct 24

Sheet No.: A1

Sheet Size: A1

Drawing Number: 15163-01-0116

Rev	By	Check	Appr	Reason

7 Ormside Road,
Millinny
Tel: +353 9056776000
e-mail: info@roadplan.ie

© Copyright 2024 Roadplan. All rights reserved. License Number 101709. NVA_025_CorkCountyCouncil

An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V902

29TH January 2025

AN BORD PLEANÁLA	
LDG-	_____
ABP-	_____
30 JAN 2025	
Fee: €	_____ Type: _____
Time:	<u>8.59</u> By: <u>Post</u>

Re: An Bord Pleanála Reference JP01.321416 - N80 Leagh Bends Scheme in the townlands of Graiguenaspiddogue, Castletown, Leagh, Ballybeg, Kilballyhue and Kilcoole, Co. Carlow

To whom it concerns.

I/we wish to make the following submission regarding the above referenced development.

We request that the matters set out hereunder are given full consideration by An Bord Pleanála in the assessment and determination of the proposal.

The scheme drawings show changes to the roadway serving our lands and the access arrangements to our lands.

My/our lands are contained in the following folio's:

- CW24445F – Plot C – Thomas Nolan

See drawing no. 19165-01-0116 included to show these lands relative to the proposals and to identify our concerns.

As also shown/highlighted in red on drawing no. 19165-01-0116 included, we have the following observations/comments:

- **Item no. 3** – My wife, Family and I Thomas Nolan will be residents of CW24445F – Plot C – I had a meeting with Ray Wickham of Carlow County Council and his team, I have told them that I will be looking for planning permission for a new entrance to our home when the roads project is complete. I have told him of my concern of this new entrance which is proposed directly opposite these entrances to (Plot B and C). This will generate a new entrance on this part of roadway and lead to poor sightline visibility to the north with a driver having to look over their shoulder given the curvature of the road, we also do not want unwanted parking of vehicles/dumping in this gateway.

- Item no. 3.1** - A better location for entrance to the plot of lands mentioned above in item no. 3 would be off the new entrance way to Glynn's Buses property. This would be a superior and safer arrangement from a traffic safety perspective and should be required by condition should a grant of any consent issue.
- Item no. 4** – Please note again ownership of the lands in plot D is under dispute and Tom & Mary Nolan are the beneficial owners of this land, I/we are supportive of the proposal to erect a gate at the end of the cul-de-sac road in front of our lands (where plots C and D front the road).

The proposal to undertake wildflower planting along the removed section of roadway is not considered an effective way of removing this roadway! We will have strong objections to this It will require regular maintenance and upkeep and may not prevent unwanted access to the lands/dumping etc.

This area is in close proximity to our lands, homes and business and security of our property is of paramount importance.

I/we request that the existing hedgerow bounding Plot D to the existing roadway is removed and the road incorporated into the field in Plot D. This would be a permanent solution to this issue as we would have control of the areas to carry out regular maintenance and up keeping of the land for and prevent unwanted access/dumping on the land.
- Item no. 4.1** – See the small gate marked on the accompanying map which reflects the position of a long standing access that we use, There is an existing gate at this point within the fencing between plots C & D for livestock, this gate is not to be moved or changed as it is used to move our animals from field to field throughout the year.
- Item no. 4.2** – it is noted that a new fence is to go in at this location during the project, we requested that native full height hedging to put back in as well along with the fencing to secure the lands, to benefit wildlife and to try bring the area back as much as possible to what was natively there before work begun.
- Item no. 5** – I/we have marked an area on the attached drawing located south of the new entrance to Glynn's Busses. Confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented.
- Item no. 6** - The existing length of roadway running from the N80 to the east, I/we request that existing roadway is removed and this area incorporated back into the adjoining field in a similar manner to item 4 above. This will be a permanent solution to the future use and security of this land.

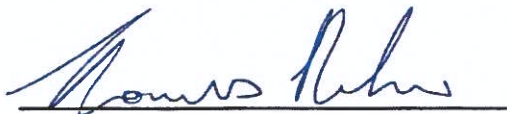
- **Item no. 7** - A construction depot is proposed on the east side of the N80 opposite Glynn's Busses Confirmation is sought on what will happen to this area once the scheme is completed. It is recommended that the area is returned back into agriculture use and is securely fenced to prevent unwanted parking of vehicles/dumping etc.

Important note - Should permission be granted I /we request that flexibility is allowed to agree design details such a boundary treatments landscaping, gates, fencing that effect all our properties and that the Carlow County Council consult with ourselves regarding which works do affect us. We requested that native full height hedging should be put back in as well along with the fencing to secure the lands, to benefit wildlife and to try bring the area back as much as possible to what was natively there before work begun.

It is critical that vehicular access is provided to our property/homes/business at all times throughout the construction stages of the development.

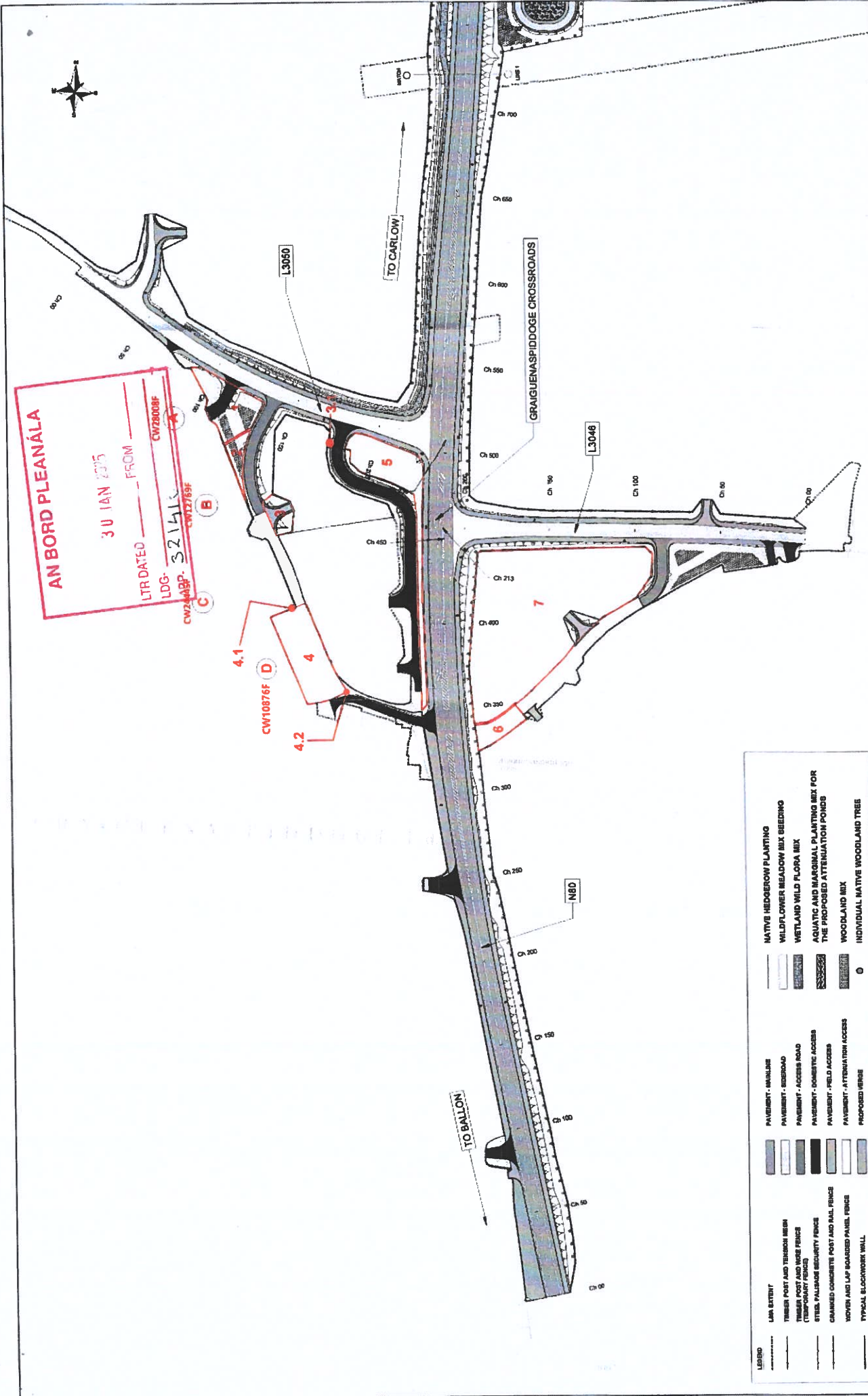
We are happy to discuss our concerns and can be contacted on
Thomas Nolan – (087) 6166696

Yours sincerely



Tom Nolan
Hillview
Graignaspideogue
Nurney
Co. Carlow

Folio no. CW24445F



AN BORD PLEANÁLA
 LTR DATED 30 JAN 2015 FROM CW128008F
 LDG. 3214LK
 CW24489F CW10876F

LEGEND	PAVEMENT - MAINLINE	PAVEMENT - BRIDGE	PAVEMENT - ACCESS ROAD	PAVEMENT - DOMESTIC ACCESS	PAVEMENT - FIELD ACCESS	PAVEMENT - ATTENUATION ACCESS	PROPOSED VERGE
LIN EXTENT	PAVEMENT - MAINLINE	PAVEMENT - BRIDGE	PAVEMENT - ACCESS ROAD	PAVEMENT - DOMESTIC ACCESS	PAVEMENT - FIELD ACCESS	PAVEMENT - ATTENUATION ACCESS	PROPOSED VERGE
TIMBER POST AND TENSION WIRE FENCE	WILDFLOWER MEADOW MIX BEDDING	WETLAND WILD FLORA MIX	AQUATIC AND MARSHAL PLANTING MIX FOR THE PROPOSED ATTENUATION PONDS	WOODLAND MIX	INDIVIDUAL NATIVE WOODLAND TREE		
TEMPORARY FENCE							
STEEL PALISADE SECURITY FENCE							
CRANKED CONCRETE POST AND RAIL FENCE							
WOODEN AND LAP BOARDED PANEL FENCE							
TYPICAL BLOCKWORK WALL							

© Director's Survey Ireland. All rights reserved. License number 2017/026. (DRI, IMA, IAI, Caidéadúirí) 2017

ROADPLAN
 060925000

7 Ormonde Road,
 Kildare
 Tel: +353(0)8776600
 e-mail: info@roadplan.ie

nro
 KILBARRE
 nro.ie

OWHARLE-ONTAE
 CHEATHAM-LACH
 CHARLES COUNTY-2016

An tAidmheirí
 Department of Transport

Thúsleáil Rialála
 Project title: d
2040

Author	Client	Scale	Date
Drawn by	Checked by	Scale	Date
Drawn by	Checked by	Scale	Date
Drawn by	Checked by	Scale	Date

GENERAL LAYOUT - SHEET 1 OF 4
 N80 LEASH BENDS SCHEME

An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V902

AN BORD PLEANÁLA	
LDG-	_____
ABP-	_____
30 JAN 2025	
Fee: €	_____ Type: _____
Time: <u>8:57</u>	By: <u>Post</u>

29TH January 2025

Re: An Bord Pleanála Reference JP01.321416 - N80 Leagh Bends Scheme in the townlands of Graiguenaspiddogue, Castletown, Leagh, Ballybeg, Kilballyhue and Kilcoole, Co. Carlow

To whom it concerns.

I/we wish to make the following submission regarding the above referenced development.

We request that the matters set out hereunder are given full consideration by An Bord Pleanála in the assessment and determination of the proposal.

The scheme drawings show changes to the roadway serving our lands and the access arrangements to our lands.

My/our lands are contained in the following folio's:

- CW28008F – Plot A – David Nolan

See drawing no. 19165-01-0116 included to show these lands relative to the proposals and to identify our concerns.

As also shown/highlighted in red on drawing no. 19165-01-0116 included, we have the following observations/comments:

- **Item no. 1** - The scheme provides an entrance to Plot A. The design leaves small plots of ground beside this entrance way. These areas will require regular maintenance and upkeep. I /we would be happy to take ownership of these parcels of land and enter into any discussions with Carlow County Council in this regard. Should the above not be possible confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented. I/we request that provision is included to secure the lands to prevent unwanted parking of vehicles, dumping etc. My intention would be to put back into agriculture use with a hope to build our house in the near future.

- **Item no. 3** – A new access is proposed directly opposite/near the existing entrance to our land, homes and business (Plot B and C). This will generate a new entrance on this part of roadway and lead to poor sightline visibility to the north with a driver having to look over their shoulder given the curvature of the road, we also do not want unwanted parking of vehicles/dumping in this gateway.

- **Item no. 3.1** - A better location for entrance to the plot of lands mentioned above in item no. 3 would be off the new entrance way to Glynn's Buses property. This would be a superior and safer arrangement from a traffic safety perspective and should be required by condition should a grant of any consent issue.

- **Item no. 4** – Please note again ownership of the lands in plot D is under dispute and Tom & Mary Nolan are the beneficial owners of this land, I/we are supportive of the proposal to erect a gate at the end of the cul-de-sac road in front of our lands (where plots C and D front the road).
The proposal to undertake wildflower planting along the removed section of roadway is not considered an effective way of removing this roadway! We will have strong objections to this It will require regular maintenance and upkeep and may not prevent unwanted access to the lands/dumping etc.
 This area is in close proximity to our lands, homes and business and security of our property is of paramount importance.
I/we request that the existing hedgerow bounding Plot D to the existing roadway is removed and the road incorporated into the field in Plot D. This would be a permanent solution to this issue as we would have control of the areas to carry out regular maintenance and up keeping of the land for and prevent unwanted access/dumping on the land.

- **Item no. 5** – I/we have marked an area on the attached drawing located south of the new entrance to Glynn's Buses. Confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented.

- **Item no. 6** - The existing length of roadway running from the N80 to the east, I/we request that existing roadway is removed and this area incorporated back into the adjoining field in a similar manner to item 4 above. This will be a permanent solution to the future use and security of this land.

- **Item no. 7** - A construction depot is proposed on the east side of the N80 opposite Glynn's Buses Confirmation is sought on what will happen to this area once the scheme is completed. It is recommended that the area is returned back into agriculture use and is securely fenced to prevent unwanted parking of vehicles/dumping etc.

Important note - Should permission be granted I /we request that flexibility is allowed to agree design details such a boundary treatments landscaping, gates, fencing that effect all our properties and that the Carlow County Council consult with ourselves regarding which works do affect us. We requested that native full height hedging should be put back in as well along with the fencing to secure the lands, to benefit wildlife and to try bring the area back as much as possible to what was natively there before work begun.

It is critical that vehicular access is provided to our property/homes/business at all times throughout the construction stages of the development.

We are happy to discuss our concerns and can be contacted on
David Nolan – (087) 9235787

Yours sincerely

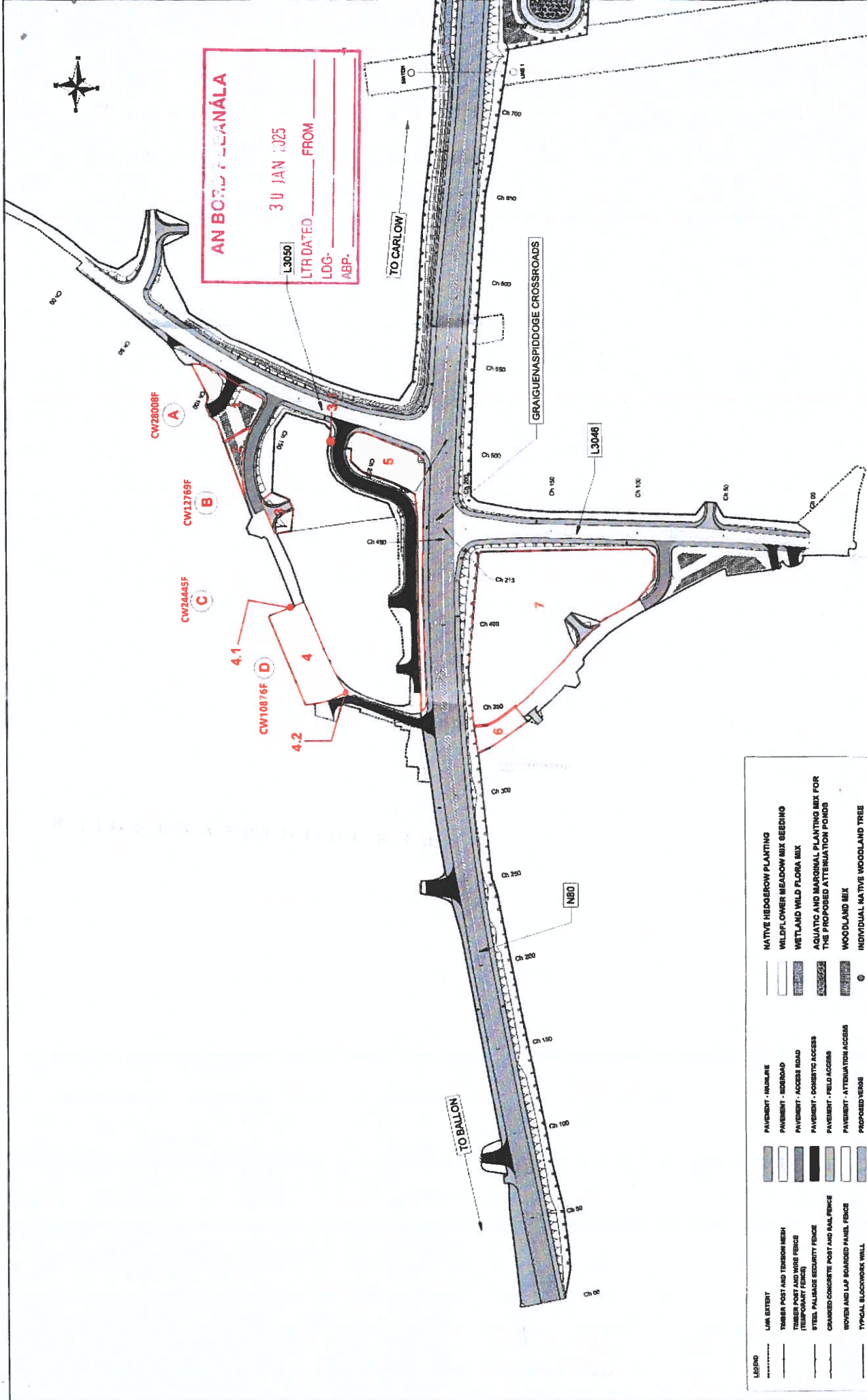
A handwritten signature in black ink, appearing to read 'D. Nolan', is written over a horizontal line.

David Nolan
Hillview
Graiguenaspidogue
Nurney
Co. Carlow

Folio no. CW28008F



AN BORD BÉANÁLA
 30 JAN 2025
 LTR DATED _____ FROM _____
 LDG- _____
 ABP- _____



LEGEND			
LINE BERTH	PAVEMENT - SIDEWALK	NATIVE HEDGEROW PLANTING	
TIMBER POST AND TENSION MESH	PAVEMENT - SUBROAD	WILDFLOWER MEADOW MIX SEEDING	
TIMBER POST AND WIRE FENCE (TEMPORARY FENCE)	PAVEMENT - ACCESS ROAD	WETLAND WILD FLORA MIX	
STEEL PALISADE SECURITY FENCE	PAVEMENT - DOMESTIC ACCESS	AQUATIC AND MARGINAL PLANTING MIX FOR THE PROPOSED ATTENUATION PONDS	
COARSED CONCRETE POST AND RAIL FENCE	PAVEMENT - FIELD ACCESS	WOODLAND MIX	
WOVEN AND LAP BOARDED PANEL FENCE	PAVEMENT - ATTENUATION ACCESS	INDIVIDUAL NATIVE WOODLAND TREE	
TYPICAL BLOCKWORK WALL	PROPOSED VERGE		

PROJECT TITLE: **NBO LEACH BENDS SCHEME**

Drawing No: **GENERAL LAYOUT - SHEET 1 OF 4**

Drawn By: DS	Scale: 1:1000	Date: 04/23
Checked By: DS	Sheet No: A1	Revision: 01
Drawn By: DS	Sheet No: A1	Revision: 01
Checked By: DS	Sheet No: A1	Revision: 01
Drawn By: DS	Sheet No: A1	Revision: 01
Checked By: DS	Sheet No: A1	Revision: 01

7 Omond's Road
48anny
Tel: +353(0)5776800
e-mail: info@roadplan.ie

© Omond's Leach Bend, All rights reserved. Licence number 2021/031/AMA/031 Cahal/Council

An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V902

AN BORD PLEANÁLA	
LDG-	_____
ABP-	_____
30 JAN 2025	
Fee: €	_____ Type: _____
Time: <u>8.49</u>	By: <u>Post</u>

29TH January 2025

Re: An Bord Pleanála Reference JP01.321416 - N80 Leagh Bends Scheme in the townlands of Graiguenaspiddogue, Castletown, Leagh, Ballybeg, Kilballyhue and Kilcoole, Co. Carlow

To whom it concerns.

I/we wish to make the following submission regarding the above referenced development.

We request that the matters set out hereunder are given full consideration by An Bord Pleanála in the assessment and determination of the proposal.

The scheme drawings show changes to the roadway serving our lands and the access arrangements to our lands.

My/our lands are contained in the following folio's:

- CW12769F – Plot B – Tom & Mary Nolan

See drawing no. 19165-01-0116 included to show these lands relative to the proposals and to identify our concerns.

As also shown/highlighted in red on drawing no. 19165-01-0116 included, we have the following observations/comments:

- Item no. 2** - The design leaves another small plot of ground fronting Plot B. This area will require regular maintenance and upkeep. I /we would be happy to take ownership of this parcel of land and enter into any discussions with Carlow County Council in this regard. Should the above not be possible confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented? I/we request that provision is included to secure the lands to prevent unwanted parking of vehicles, dumping etc.
- **Item no. 3** – A new access is proposed directly opposite/near the existing entrance to our land, homes and business (Plot B and C). This will generate a new entrance on

this part of roadway and lead to poor sightline visibility to the north with a driver having to look over their shoulder given the curvature of the road, we also do not want unwanted parking of vehicles/dumping in this gateway.

- **Item no. 3.1** - A better location for entrance to the plot of lands mentioned above in item no. 3 would be off the new entrance way to Glynn's Buses property. This would be a superior and safer arrangement from a traffic safety perspective and should be required by condition should a grant of any consent issue.
- **Item no. 4** – Please note again ownership of the lands in plot D is under dispute and Tom & Mary Nolan are the beneficial owners of this land, I/we are supportive of the proposal to erect a gate at the end of the cul-de-sac road in front of our lands (where plots C and D front the road).
The proposal to undertake wildflower planting along the removed section of roadway is not considered an effective way of removing this roadway! We will have strong objections to this It will require regular maintenance and upkeep and may not prevent unwanted access to the lands/dumping etc.
This area is in close proximity to our lands, homes and business and security of our property is of paramount importance.
I/we request that the existing hedgerow bounding Plot D to the existing roadway is removed and the road incorporated into the field in Plot D. This would be a permanent solution to this issue as we would have control of the areas to carry out regular maintenance and up keeping of the land for and prevent unwanted access/dumping on the land.
- **Item no. 5** – I/we have marked an area on the attached drawing located south of the new entrance to Glynn's Buses. Confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented.
- **Item no. 6** - The existing length of roadway running from the N80 to the east, I/we request that existing roadway is removed and this area incorporated back into the adjoining field in a similar manner to item 4 above. This will be a permanent solution to the future use and security of this land.
- **Item no. 7** - A construction depot is proposed on the east side of the N80 opposite Glynn's Buses Confirmation is sought on what will happen to this area once the scheme is completed. It is recommended that the area is returned back into agriculture use and is securely fenced to prevent unwanted parking of vehicles/dumping etc.

Important note - Should permission be granted I /we request that flexibility is allowed to agree design details such a boundary treatments landscaping, gates, fencing that effect all our properties and that the Carlow County Council consult with ourselves regarding which works do affect us. We requested that native full height hedging should be put back in as well along with the fencing to secure the lands, to benefit wildlife and to try bring the area back as much as possible to what was natively there before work begun.

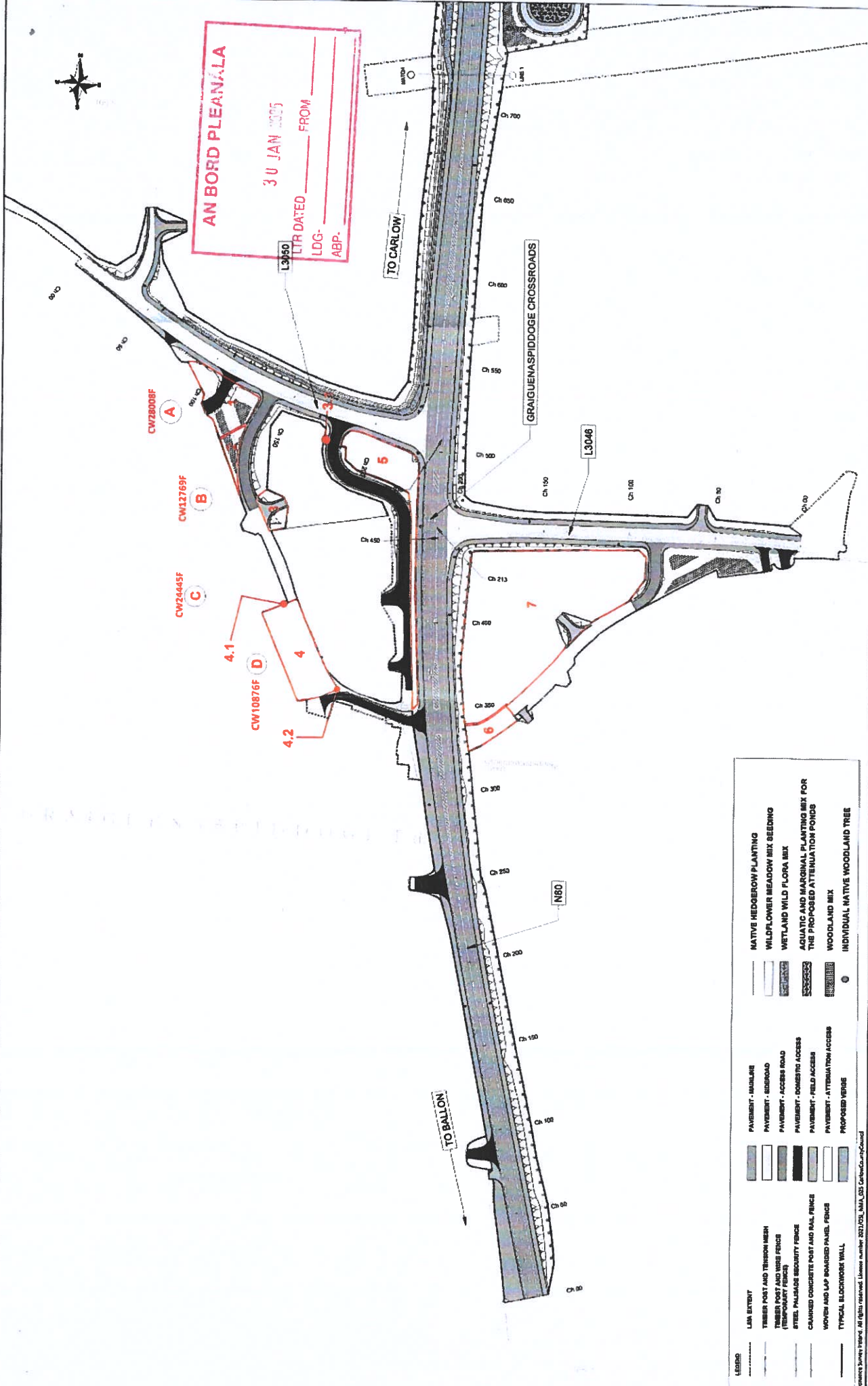
It is critical that vehicular access is provided to our property/homes/business at all times throughout the construction stages of the development.

We are happy to discuss our concerns and can be contacted on
Tom Nolan – (086) 8776698
Mary Nolan – (087) 2342152

Yours sincerely

Thomas & Mary Nolan
Hillview
Graignaspideogue
Nurney
Co. Carlow

Folio no. CW12769F



LEGEND

	LMA EXTENT		PAVEMENT - MOUND		NATIVE HEDGEROW PLANTING
	TIMBER POST AND TRUSS MESH		PAVEMENT - SIDEROAD		WILDFLOWER MEADOW MIX SEEDING
	TIMBER POST AND WIRE FENCE		PAVEMENT - ACCESS ROAD		WETLAND WILD FLORA MIX
	STEEL PALISADE SECURITY FENCE		PAVEMENT - DOMESTIC ACCESS		AQUATIC AND MARGINAL PLANTING MIX FOR THE PROPOSED ATTENUATION PONDS
	CHANGED CONCRETE POST AND RAIL FENCE		PAVEMENT - FIELD ACCESS		WOODLAND MIX
	WOODEN AND LOP BARRIERS PANEL FENCE		PAVEMENT - ATTENUATION ACCESS		INDIVIDUAL NATIVE WOODLAND TREE
	TYPICAL BLACKWOOD WALL		PROPOSED VERGE		

© Copyright Survey Ireland. All rights reserved. License number: 2021/DL/INA_025. CarlowCountyCouncil

ROADPLAN CONSULTING

7 Omeau Road,
Kilshenny
Tel: +353(0)56779500
Email: info@roadplan.ie

TII
Transport Infrastructure Ireland

nro
NATURE RESTORATION ORGANIZATION
NATIONAL RESTORATION DATA

TOURNALE CONTIN
C.P.R. AT A LALACH
MOUNTAIN COUNTY COUNCIL

An Roinn Iompar
Department of Transport

Thomascill (hramh)
Project Ireland
2040

RESUME

Project Name: N80 LEAGH BENDS SCHEME

Drawing Title: GENERAL LAYOUT - SHEET 1 OF 4

Drawn by: DA

Checked by: CP

Scale: 1:500

Date: 30 JAN 2005

Sheet No: A1

Sheet Size: A1

Project No: 09100-10-019

Revision:

An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V902

AN BORD PLEANÁLA	
LDG. _____	
ABP. _____	
30 JAN 2025	
Fee: € _____	Type: _____
Time: <u>9.53</u>	By: <u>Ray Post</u>

29TH January 2025

Re: An Bord Pleanála Reference JP01.321416 - N80 Leagh Bends Scheme in the townlands of Graiguenaspiddogue, Castletown, Leagh, Ballybeg, Kilballyhue and Kilcoole, Co. Carlow

To whom it concerns.

I/we wish to make the following submission regarding the above referenced development.

We request that the matters set out hereunder are given full consideration by An Bord Pleanála in the assessment and determination of the proposal.

The scheme drawings show changes to the roadway serving our lands and the access arrangements to our lands.

My/our lands are contained in the following folio's:

- CW10876F – Plot D – Tom & Mary Nolan

See drawing no. 19165-01-0116 included to show these lands relative to the proposals and to identify our concerns. Please note ownership of the lands in plot D is under dispute and we are the beneficial owners of this land.

As also shown/highlighted in red on drawing no. 19165-01-0116 included, we have the following observations/comments:

- **Item no. 3** – A new access is proposed directly opposite/near the existing entrance to our land, homes and business (Plot B and C). This will generate a new entrance on this part of roadway and lead to poor sightline visibility to the north with a driver having to look over their shoulder given the curvature of the road.
- **Item no. 3.1** - A better location for entrance to the plot of lands mentioned above in item no. 3 would be off the new entrance way to Glynn's Buses property. This would be a superior and safer arrangement from a traffic safety perspective and should be required by condition should a grant of any consent issue.

- Item no. 4** – Please note again ownership of the lands in plot D is under dispute and Tom & Mary Nolan are the beneficial owners of this land, I/we are supportive of the proposal to erect a gate at the end of the cul-de-sac road in front of our lands (where plots C and D front the road).

The proposal to undertake wildflower planting along the removed section of roadway is not considered an effective way of removing this roadway! We will have strong objections to this It will require regular maintenance and upkeep and may not prevent unwanted access to the lands/dumping etc.

This area is in close proximity to our lands, homes and business and security of our property is of paramount importance.

I/we request that the existing hedgerow bounding Plot D to the existing roadway is removed and the road incorporated into the field in Plot D. I/we would be happy to take ownership of this parcel of land and enter into any discussions with Carlow County Council in this regard. This would be a permanent solution to this issue as we would have control of the areas to carry out regular maintenance and up keeping of the land for and prevent unwanted access/dumping on the land.
- Item no. 4.1** – See the small gate marked on the accompanying map which reflects the position of a long standing access that we use, There is an existing gate at this point within the fencing between plots C & D for livestock, this gate is not to be moved or changed as it is used to move our animals from field to field throughout the year.
- Item no. 4.2** – it is noted that a new fence is to go in at this location during the project, we requested that native full height hedging to put back in as well along with the fencing to secure the lands, to benefit wildlife and to try bring the area back as much as possible to what was natively there before work begun.
- Item no. 5** – I/we have marked an area on the attached drawing located south of the new entrance to Glynn’s Busses. Confirmation is sought on who will maintain this area and how unwanted parking of vehicles/dumping on same will be prevented.
- Item no. 6** - The existing length of roadway running from the N80 to the east, I/we request that existing roadway is removed and this area incorporated back into the adjoining field in a similar manner to item 4 above. This will be a permanent solution to the future use and security of this land.
- Item no. 7** - A construction depot is proposed on the east side of the N80 opposite Glynn’s Busses Confirmation is sought on what will happen to this area once the scheme is completed. It is recommended that the area is returned back into

agriculture use and is securely fenced to prevent unwanted parking of vehicles/dumping etc.

Important note - Should permission be granted I /we request that flexibility is allowed to agree design details such a boundary treatments landscaping, gates, fencing that effect all our properties and that the Carlow County Council consult with ourselves regarding which works do affect us. We requested that native full height hedging should be put back in as well along with the fencing to secure the lands, to benefit wildlife and to try bring the area back as much as possible to what was natively there before work begun.

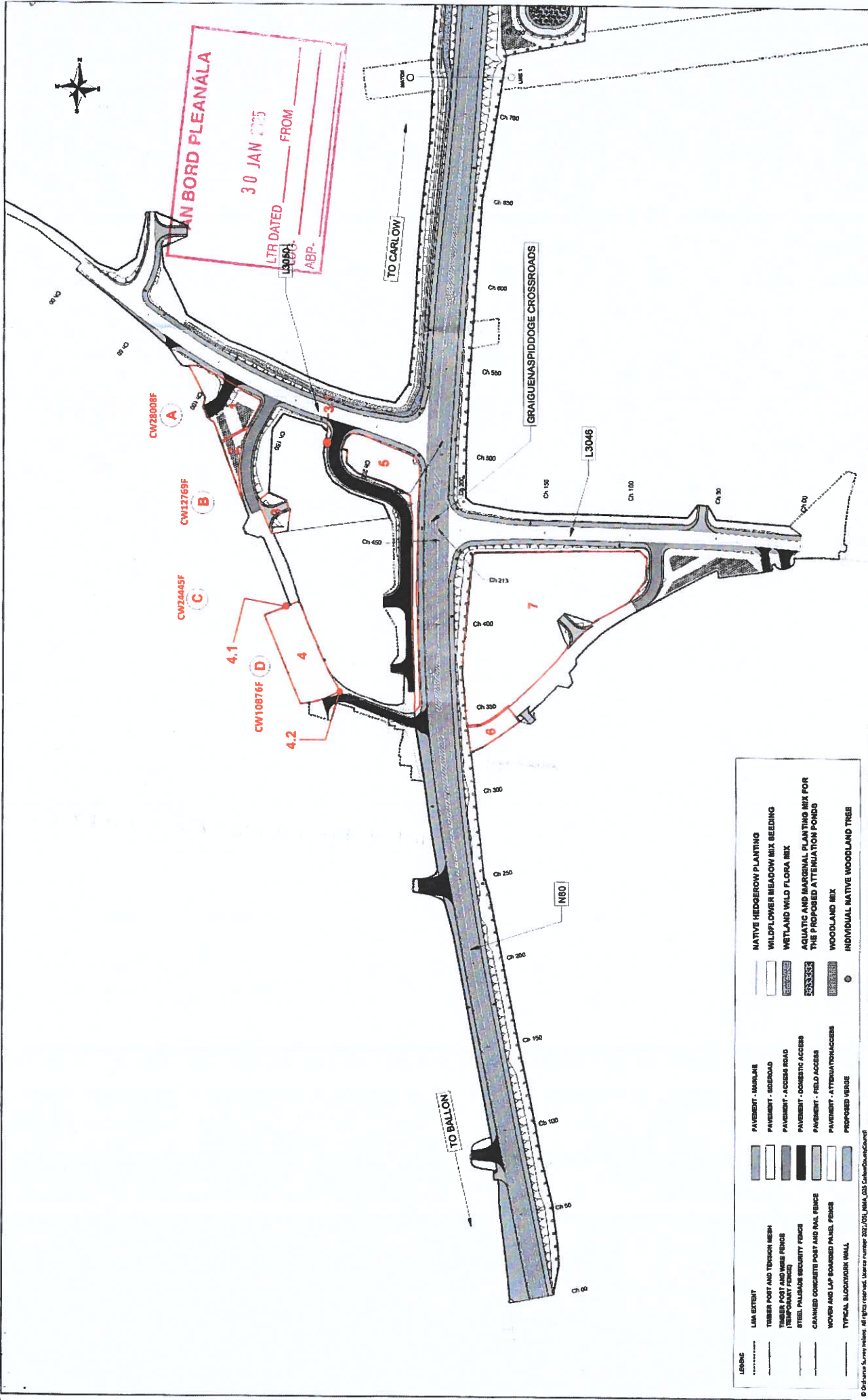
It is critical that vehicular access is provided to our property/homes/business at all times throughout the construction stages of the development.

We are happy to discuss our concerns and can be contacted on
Tom Nolan – (086) 8776698
Mary Nolan – (087) 2342152

Yours sincerely

Thomas & Mary Nolan
Hillview
Graignaspideogue
Nurney
Co. Carlow

Folio no. CW10876F



PROJECT TITLE		N80 LEAGH BENDS SCHEME	
Drawing Title	Scale	Sheet No.	Sheet
GENERAL LAYOUT - SHEET 1 OF 4	1:1000	A1	001/34
Drawn by	Checked by	Drawn Date	Drawn Month
DD	DD	11/2020	01/24
Drawn Number	Checked Number	Drawn Date	Drawn Month
DD	DD	01/2020	01/24

7 Connemara Road,
 Galway
 Tel: +353 (0)92779500
 Email: info@roadplan.ie

ROADPLAN
 092779500

TII
 Transport Infrastructure Ireland

nro
 NATURE RESTORATION ORDER

COMHAIRLE COIMHIE
 C.P. LATHARACH
 GALWAY COUNTY COUNCIL

An Bólaí Eorpacha
 Department of Transport

The Road to 2040
 Project Ireland

	LIA EXTERIOR		PAVEMENT - MARIAGE		NATIVE HEDGEROW PLANTING
	TIMBER POST AND TENSION MESH		PAVEMENT - ACCESS ROAD		WILDFLOWER MEADOW MIX SEEDING
	STEEL PALMARE SECURITY FENCE		PAVEMENT - DOWNHILL ACCESS		WETLAND WILD FLORA MIX
	GALVANIZED CONCRETE POST AND RAIL FENCE		PAVEMENT - FIELD ACCESS		AQUATIC AND MARSHAL PLANTING MIX FOR THE PROPOSED ATTENUATION POND
	WOVEN AND LAP BOARDSHED PANEL FENCE		PAVEMENT - ATTENUATION ACCESS		WOODLAND MIX
	TYPICAL BLOCKWORK WALL		PROPOSED VERGE		INDIVIDUAL NATIVE WOODLAND TREE

© Galway Survey Institute. All rights reserved. License number 202/201/INM/035 GalwayCountyCouncil

Albert Glynn
Kilcoole
Rathoe
Co. Carlow

AN BORD PLEANÁLA	
LDG-	_____
ABP-	_____
29 JAN 2025	
Fee: €	_____ Type: _____
Time: 9.24	By: Reg Post

22 January 2025

Re: N80 Leagh Bends Scheme

To whom it may concern,

The Glynn family has called this dwelling and land, home since 1911. It has created a rich tapestry of memories and history for more than a century. The business aspect of the property began in the 1930s, initially offering a hackney service for the county, which later expanded into a bus and haulage service. This evolution not only highlights the entrepreneurial spirit of the Glynn family but also our deep-rooted connection to the community. The property and its surrounding land hold significant historical and heritage value. Cherished not only by the Glynn family but also by the wider community. It stands as a well-known landmark in Ireland, symbolizing the enduring legacy and contributions of the Glynn family to the local area.

The Glynn family relies heavily on this property and its surrounding land for our daily activities, which are integral to both our personal and business lives. Any construction that blocks access to this property would severely disrupt our operations, affecting not only our current activities but also our future plans. The land is essential for our ongoing ventures, which have been a staple in the community both locally and nationally since the 1930s.

Blocking access would not only hinder our ability to maintain these services but also impact our capacity to adapt and grow in the future. The property's accessibility is crucial for our family's livelihood and the community's both locally and nationally who continue to benefit from our services.

I hereby submit our objections relating to the proposed C.P. O acquisition of land as outlined below.

1. 109b.201, 109a.201, 109c.201 109f.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01

This expansive piece of land is conveniently situated directly opposite our garage premises and land. It plays an indispensable role in our daily activity for example, parking our large vehicles, trailers, and buses. Given its strategic location along the main artery to the port in Rosslare, that section from the main road experiences a significant volume of traffic and travellers heading to both the UK and Europe. This piece of land is crucial for our heavy machinery to pull in safely, allowing us to wait for heavy traffic to pass before crossing the road securely. Any obstruction to our right of way into our property would not only disrupt our operations but also pose a serious risk to all travellers, including those navigating our vehicles. Ensuring unobstructed access to this piece land is vital for maintaining safety and efficiency in our daily activities.

2. 109e.201, 109d.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01

- The frontage onto the N80 is absolutely crucial for the future development of this property. The proposed acquisition would significantly diminish its attractiveness for both commercial and residential development, leading to a substantial devaluation of the property. The visibility and accessibility provided by the N80 frontage, are key factors that enhance the property's appeal to potential development not only to developers and investors but for our own personal development. Without this frontage, the property's potential for future growth and development would be severely compromised.
- The location of the proposed new entrance will severely impact access to our commercial yard, garage, outbuildings, and the historical and protected granite schoolhouse. This schoolhouse, designed by the renowned architect Daniel Robertson, who also designed Powerscourt House, is a significant landmark. The new entrance would disrupt the seamless access currently enjoyed, making it difficult to reach these essential areas. The schoolhouse, in particular, holds immense historical value and is a testament to the architectural heritage of the area. Its preservation and accessibility are paramount.
- The land in question contains vital infrastructure, including oil tanks, fuel pumps, and a water well, all of which are essential for the property's future

development and use. The proposed entrance would obstruct access to these critical facilities, hindering their operation and maintenance. Additionally, the schoolhouse, originally built by the Faulkner Family of Castletown in 1845, attracts many visitors who come to appreciate its historical significance. Any obstruction to this area would not only affect the property's functionality but also diminish its cultural and historical value to the community.

- Limited access to the property is unacceptable. The current access points are crucial for the smooth operation of our business and the daily activities. Any reduction in access would create significant logistical challenges and disrupt the efficient functioning of the property.
- Having only one access point to serve three properties is not acceptable. The two residential properties, along with the yard and buildings, require separate and adequate access to ensure safety and convenience. The living accommodation adjacent to the garage may be used frequently, and a single access point would create congestion and potential safety hazards.
- Renovation and restoration of the schoolhouse are within our future plans. This historic building holds great sentimental and cultural value, and we are committed to preserving and enhancing it for future generations. Any changes that impede access or disrupt the integrity of the schoolhouse would be detrimental to these plans.
- Acquiring a similar property with a comparable location would incur significant costs. The unique combination of historical value, strategic location, and existing infrastructure makes this property irreplaceable. The financial burden of finding and developing a new property to match these attributes would be substantial, further emphasizing the importance of maintaining the current access and layout.

3. 109h.201, 109g.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01

This proposed action would significantly compromise the security, privacy, and peaceful enjoyment of our property. The introduction of new access points, and the newly proposed obstructions will lead to increased stress, and burden to our family. The proposed layout makes it easier for unauthorized individuals to enter the premises. This heightened risk would undermine the sense of safety that we currently enjoy.

Our property has long been a sanctuary where we can work and live in peace, and any changes that threaten this balance would be deeply unsettling. The privacy we value so highly would be eroded. Overall, the proposed action would not only affect the functionality of our property but also diminish the quality of life we have worked hard to maintain for over a century.

Significant Disturbance

The significant disruption caused by the proposed changes will undoubtedly lead to a substantial devaluation of the property. The acquisition of only a portion of the land would fragment the estate, resulting in a diminished overall value. This fragmentation would severely impact the property's potential for future development, whether for commercial or residential purposes. The cohesive nature of the property is a key factor in its current value and appeal. By disrupting this unity, the proposed changes would undermine the property's attractiveness to potential developers and investors.

Moreover, the disruption would create logistical challenges and reduce the usability of the land, making it less appealing for any future projects. The property's strategic location and existing infrastructure are integral to its value, and any changes that compromise these elements would have a detrimental effect. The potential for future development is a significant aspect of the property's worth, and any actions that hinder this potential would result in a severe financial loss for our family.

In essence, the proposed changes would not only cause immediate disruption but also have long-term negative consequences on the property's value and development prospects. This would be a significant setback for any plans to enhance or expand the property, ultimately affecting its financial viability and the benefits it brings to the community.

Conclusion

In conclusion, the proposed acquisition and changes to our property would have far-reaching negative impacts on both our family and the community. The Glynn family has maintained and cherished this property for over a century, contributing significantly to the local heritage and economy. The disruption caused by the

proposed changes would not only devalue the property but also hinder its potential for future development. The strategic location, historical significance, and existing infrastructure make this property irreplaceable. Any obstruction to our access and operations would compromise our ability to continue serving the community effectively. We urge you to reconsider the proposed actions to preserve the integrity, value, and functionality of this cherished landmark.

I respectfully submit that the proposed acquisition and changes to our property would have profound and far-reaching negative impacts on both our family and the wider community.

I implore you to reconsider the proposed actions to preserve the integrity, value, and functionality of this cherished landmark. Our family has invested generations of care and dedication into this property, and its continued preservation is vital for both our livelihood and the community's heritage.

I appreciate your attention to this matter and hope for a favourable resolution that honours the legacy and future potential of our home and business.

Sincerely,

Albert Glynn

A handwritten signature in cursive script that reads "Albert Glynn". The signature is written in black ink and is positioned below the printed name.

Allan Glynn
Templepeter
Rathoe
Co. Carlow
R93 YF22

AN BORD PLEANÁLA	
LDG-	_____
ABP-	_____
29 JAN 2025	
Fee: €	Type: _____
Time: 9.31	By: <i>Roy Park</i>

Co. Carlow

22 January 2025

Re: N80 Leagh Bends Scheme

To whom it may concern,

The Glynn family has called this dwelling and land, home since 1911. It has created a rich tapestry of memories and history for more than a century. The business aspect of the property began in the 1930s, initially offering a hackney service for the county, which later expanded into a bus and haulage service. This evolution not only highlights the entrepreneurial spirit of the Glynn family but also our deep-rooted connection to the community. The property and its surrounding land hold significant historical and heritage value. Cherished not only by the Glynn family but also by the wider community. It stands as a well-known landmark in Ireland, symbolizing the enduring legacy and contributions of the Glynn family to the local area.

The Glynn family relies heavily on this property and its surrounding land for our daily activities, which are integral to both our personal and business lives. Any construction that blocks access to this property would severely disrupt our operations, affecting not only our current activities but also our future plans. The land is essential for our ongoing ventures, which have been a staple in the community both locally and nationally since the 1930s.

Blocking access would not only hinder our ability to maintain these services but also impact our capacity to adapt and grow in the future. The property's accessibility is crucial for our family's livelihood and the community's both locally and nationally who continue to benefit from our services.

I hereby submit our objections relating to the proposed C.P. O acquisition of land as outlined below.

1. 109b.201, 109a.201, 109c.201 109f.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01

This expansive piece of land is conveniently situated directly opposite our garage premises and land. It plays an indispensable role in our daily activity for example, parking our large vehicles, trailers, and buses. Given its strategic location along the main artery to the port in Rosslare, that section from the main road experiences a significant volume of traffic and travellers heading to both the UK and Europe. This piece of land is crucial for our heavy machinery to pull in safely, allowing us to wait for heavy traffic to pass before crossing the road securely. Any obstruction to our right of way into our property would not only disrupt our operations but also pose a serious risk to all travellers, including those navigating our vehicles. Ensuring unobstructed access to this piece land is vital for maintaining safety and efficiency in our daily activities.

2. 109e.201, 109d.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01

- The frontage onto the N80 is absolutely crucial for the future development of this property. The proposed acquisition would significantly diminish its attractiveness for both commercial and residential development, leading to a substantial devaluation of the property. The visibility and accessibility provided by the N80 frontage, are key factors that enhance the property's appeal to potential development not only to developers and investors but for our own personal development. Without this frontage, the property's potential for future growth and development would be severely compromised.
- The location of the proposed new entrance will severely impact access to our commercial yard, garage, outbuildings, and the historical and protected granite schoolhouse. This schoolhouse, designed by the renowned architect Daniel Robertson, who also designed Powerscourt House, is a significant landmark. The new entrance would disrupt the seamless access currently enjoyed, making it difficult to reach these essential areas. The schoolhouse, in particular, holds immense historical

value and is a testament to the architectural heritage of the area. Its preservation and accessibility are paramount.

- The land in question contains vital infrastructure, including oil tanks, fuel pumps, and a water well, all of which are essential for the property's future development and use. The proposed entrance would obstruct access to these critical facilities, hindering their operation and maintenance. Additionally, the schoolhouse, originally built by the Faulkner Family of Castletown in 1845, attracts many visitors who come to appreciate its historical significance. Any obstruction to this area would not only affect the property's functionality but also diminish its cultural and historical value to the community.
 - Limited access to the property is unacceptable. The current access points are crucial for the smooth operation of our business and the daily activities. Any reduction in access would create significant logistical challenges and disrupt the efficient functioning of the property.
 - Having only one access point to serve three properties is not acceptable. The two residential properties, along with the yard and buildings, require separate and adequate access to ensure safety and convenience. The living accommodation adjacent to the garage may be used frequently, and a single access point would create congestion and potential safety hazards.
 - Renovation and restoration of the schoolhouse are within our future plans. This historic building holds great sentimental and cultural value, and we are committed to preserving and enhancing it for future generations. Any changes that impede access or disrupt the integrity of the schoolhouse would be detrimental to these plans.
 - Acquiring a similar property with a comparable location would incur significant costs. The unique combination of historical value, strategic location, and existing infrastructure makes this property irreplaceable. The financial burden of finding and developing a new property to match these attributes would be substantial, further emphasizing the importance of maintaining the current access and layout.
- 3. 109h.201, 109g.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01**

This proposed action would significantly compromise the security, privacy, and peaceful enjoyment of our property. The introduction of new access points, and the newly proposed obstructions will lead to increased stress, and burden to our

family. The proposed layout makes it easier for unauthorized individuals to enter the premises. This heightened risk would undermine the sense of safety that we currently enjoy.

Our property has long been a sanctuary where we can work and live in peace, and any changes that threaten this balance would be deeply unsettling. The privacy we value so highly would be eroded. Overall, the proposed action would not only affect the functionality of our property but also diminish the quality of life we have worked hard to maintain for over a century.

Significant Disturbance

The significant disruption caused by the proposed changes will undoubtedly lead to a substantial devaluation of the property. The acquisition of only a portion of the land would fragment the estate, resulting in a diminished overall value. This fragmentation would severely impact the property's potential for future development, whether for commercial or residential purposes. The cohesive nature of the property is a key factor in its current value and appeal. By disrupting this unity, the proposed changes would undermine the property's attractiveness to potential developers and investors.

Moreover, the disruption would create logistical challenges and reduce the usability of the land, making it less appealing for any future projects. The property's strategic location and existing infrastructure are integral to its value, and any changes that compromise these elements would have a detrimental effect. The potential for future development is a significant aspect of the property's worth, and any actions that hinder this potential would result in a severe financial loss for our family.

In essence, the proposed changes would not only cause immediate disruption but also have long-term negative consequences on the property's value and development prospects. This would be a significant setback for any plans to enhance or expand the property, ultimately affecting its financial viability and the benefits it brings to the community.

Conclusion

In conclusion, the proposed acquisition and changes to our property would have far-reaching negative impacts on both our family and the community. The Glynn family has maintained and cherished this property for over a century, contributing significantly to the local heritage and economy. The disruption caused by the proposed changes would not only devalue the property but also hinder its potential for future development. The strategic location, historical significance, and existing infrastructure make this property irreplaceable. Any obstruction to our access and operations would compromise our ability to continue serving the community effectively. We urge you to reconsider the proposed actions to preserve the integrity, value, and functionality of this cherished landmark.

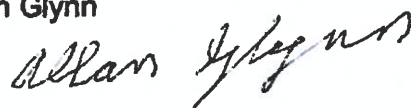
I respectfully submit that the proposed acquisition and changes to our property would have profound and far-reaching negative impacts on both our family and the wider community.

I implore you to reconsider the proposed actions to preserve the integrity, value, and functionality of this cherished landmark. Our family has invested generations of care and dedication into this property, and its continued preservation is vital for both our livelihood and the community's heritage.

I appreciate your attention to this matter and hope for a favourable resolution that honours the legacy and future potential of our home and business.

Sincerely,

Allan Glynn

A handwritten signature in cursive script that reads "Allan Glynn". The signature is written in black ink and is positioned below the printed name.

Ann Glynn
Huntsman's Lodge
Huntsman's Cross
Fenagh
Carlow

— Rep. of Late David Glynn

22 January 2025

Re: N80 Leagh Bends Scheme

AN BORD PLEANÁLA	
LDG-	_____
ABP-	_____
29 JAN 2025	
Fee: €	_____ Type: _____
Time: 9.28	By: <i>Ron Post</i>

To whom it may concern,

The Glynn family has called this dwelling and land, home since 1911. It has created a rich tapestry of memories and history for more than a century. The business aspect of the property began in the 1930s, initially offering a hackney service for the county, which later expanded into a bus and haulage service. This evolution not only highlights the entrepreneurial spirit of the Glynn family but also our deep-rooted connection to the community. The property and its surrounding land hold significant historical and heritage value. Cherished not only by the Glynn family but also by the wider community. It stands as a well-known landmark in Ireland, symbolizing the enduring legacy and contributions of the Glynn family to the local area.

The Glynn family relies heavily on this property and its surrounding land for our daily activities, which are integral to both our personal and business lives. Any construction that blocks access to this property would severely disrupt our operations, affecting not only our current activities but also our future plans. The land is essential for our ongoing ventures, which have been a staple in the community both locally and nationally since the 1930s.

Blocking access would not only hinder our ability to maintain these services but also impact our capacity to adapt and grow in the future. The property's accessibility is crucial for our family's livelihood and the community's both locally and nationally who continue to benefit from our services.

I hereby submit our objections relating to the proposed C.P. O acquisition of land as outlined below.

1. 109b.201, 109a.201, 109c.201 109f.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01

This expansive piece of land is conveniently situated directly opposite our garage premises and land. It plays an indispensable role in our daily activity for example, parking our large vehicles, trailers, and buses. Given its strategic location along the main artery to the port in Rosslare, that section from the main road experiences a significant volume of traffic and travellers heading to both the UK and Europe. This piece of land is crucial for our heavy machinery to pull in safely, allowing us to wait for heavy traffic to pass before crossing the road securely. Any obstruction to our right of way into our property would not only disrupt our operations but also pose a serious risk to all travellers, including those navigating our vehicles. Ensuring unobstructed access to this piece land is vital for maintaining safety and efficiency in our daily activities.

2. 109e.201, 109d.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01

1. The frontage onto the N80 is absolutely crucial for the future development of this property. The proposed acquisition would significantly diminish its attractiveness for both commercial and residential development, leading to a substantial devaluation of the property. The visibility and accessibility provided by the N80 frontage, are key factors that enhance the property's appeal to potential development not only to developers and investors but for our own personal development. Without this frontage, the property's potential for future growth and development would be severely compromised.
2. The location of the proposed new entrance will severely impact access to our commercial yard, garage, outbuildings, and the historical and protected granite schoolhouse. This schoolhouse, designed by the renowned architect Daniel Robertson, who also designed Powerscourt House, is a significant landmark. The new entrance would disrupt the seamless access currently enjoyed, making it difficult to reach these essential areas. The schoolhouse, in particular, holds immense historical value and is a testament to the architectural heritage of the area. Its preservation and accessibility are paramount.
3. The land in question contains vital infrastructure, including oil tanks, fuel pumps, and a water well, all of which are essential for the property's future development and use. The proposed entrance would obstruct access to these critical facilities, hindering their operation and maintenance. Additionally, the schoolhouse, originally built by the Faulkner Family of Castletown in 1845, attracts many visitors who come to appreciate its historical significance. Any obstruction to this area would not only affect the property's functionality but also diminish its cultural and historical value to the community.

4. Limited access to the property is unacceptable. The current access points are crucial for the smooth operation of our business and the daily activities. Any reduction in access would create significant logistical challenges and disrupt the efficient functioning of the property.
 5. Having only one access point to serve three properties is not acceptable. The two residential properties, along with the yard and buildings, require separate and adequate access to ensure safety and convenience. The living accommodation adjacent to the garage may be used frequently, and a single access point would create congestion and potential safety hazards.
 6. Renovation and restoration of the schoolhouse are within our future plans. This historic building holds great sentimental and cultural value, and we are committed to preserving and enhancing it for future generations. Any changes that impede access or disrupt the integrity of the schoolhouse would be detrimental to these plans.
 7. Acquiring a similar property with a comparable location would incur significant costs. The unique combination of historical value, strategic location, and existing infrastructure makes this property irreplaceable. The financial burden of finding and developing a new property to match these attributes would be substantial, further emphasizing the importance of maintaining the current access and layout.
3. **109h.201, 109g.201 pertaining to drawing: LA109, Drawing no. NR0246/3300/LA109 01**

This proposed action would significantly compromise the security, privacy, and peaceful enjoyment of our property. The introduction of new access points, and the newly proposed obstructions will lead to increased stress, and burden to our family. The proposed layout makes it easier for unauthorized individuals to enter the premises. This heightened risk would undermine the sense of safety that we currently enjoy.

Our property has long been a sanctuary where we can work and live in peace, and any changes that threaten this balance would be deeply unsettling. The privacy we value so highly would be eroded. Overall, the proposed action would not only affect the functionality of our property but also diminish the quality of life we have worked hard to maintain for over a century.

Significant Disturbance

The significant disruption caused by the proposed changes will undoubtedly lead to a substantial devaluation of the property. The acquisition of only a portion of the land would fragment the estate, resulting in a diminished overall value. This fragmentation would severely impact the property's potential for future development, whether for commercial or residential purposes. The cohesive nature of the property is a key factor in its current value and appeal. By disrupting this unity, the proposed changes would undermine the property's attractiveness to potential developers and investors.

Moreover, the disruption would create logistical challenges and reduce the usability of the land, making it less appealing for any future projects. The property's strategic location and existing infrastructure are integral to its value, and any changes that compromise these elements would have a detrimental effect. The potential for future development is a significant aspect of the property's worth, and any actions that hinder this potential would result in a severe financial loss for our family.

In essence, the proposed changes would not only cause immediate disruption but also have long-term negative consequences on the property's value and development prospects. This would be a significant setback for any plans to enhance or expand the property, ultimately affecting its financial viability and the benefits it brings to the community.

Conclusion

In conclusion, the proposed acquisition and changes to our property would have far-reaching negative impacts on both our family and the community. The Glynn family has maintained and cherished this property for over a century, contributing significantly to the local heritage and economy. The disruption caused by the proposed changes would not only devalue the property but also hinder its potential for future development. The strategic location, historical significance, and existing infrastructure make this property irreplaceable. Any obstruction to our access and operations would compromise our ability to continue serving the community effectively. We urge you to reconsider the proposed actions to preserve the integrity, value, and functionality of this cherished landmark.

I respectfully submit that the proposed acquisition and changes to our property would have profound and far-reaching negative impacts on both our family and the wider community.

I implore you to reconsider the proposed actions to preserve the integrity, value, and functionality of this cherished landmark. Our family has invested generations of care and dedication into this property, and its continued preservation is vital for both our livelihood and the community's heritage.

I appreciate your attention to this matter and hope for a favourable resolution that honours the legacy and future potential of our home and business.

Sincerely,

Ann Glynn

A handwritten signature in blue ink that reads "Ann Glynn". The signature is written in a cursive style with a large initial "A" and a long, sweeping underline.

Aisling Reilly

From: LAPS
Sent: Tuesday 4 February 2025 11:38
To: Aisling Reilly
Subject: FW: N80 Leagh Bends Scheme - Submission to An Bord Pleanála
Attachments: Objection Letter to ABP - Ref. 120.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

From: jennifer.ryan@corrconsult.ie <jennifer.ryan@corrconsult.ie>
Sent: Thursday 30 January 2025 16:36
To: SIDS <sids@pleanala.ie>; LAPS <laps@pleanala.ie>
Cc: 'Tom Corr' <tom.corr@corrconsult.ie>
Subject: N80 Leagh Bends Scheme - Submission to An Bord Pleanála

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Dear Sirs,

Please see attached Submission prepared by Tom Corr on behalf of his client, Laura Nolan, CPO Ref. 120, whom Tom Corr is representing on this N80 Leagh Bends Scheme.

Please confirm safe receipt of this email and its contents.

Kind Regards,

Jennifer Ryan
Office Manager
Mob: (083) 8169000
Tel: (045) 254211
Email: jennifer.ryan@corrconsult.ie
Web: www.corrconsult.ie



CORR is the trading name of Corr Property Consultants Ltd.
Company Registered Number: 520536, PSRA Licence Number: 003033
Registered Office: Oakwood, Mountrice, Monasterevin, Co. Kildare, W34 DX27.

The information contained in this email is without prejudice/subject to contract/contract denied
The contents of this email are strictly confidential and may be legally privileged and are intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient, any copying, disclosure, distribution or any other action taken or omitted to be taken in reliance on it, is strictly prohibited and may be unlawful. Any particulars that are given are on the understanding that they will not

Our Ref: TC/JR

An Bord Pleanála
64, Marlborough Street
Dublin 1.
Via Email: sids@pleanala.ie



Corr
Oakwood, Mountrice,
Monasterevin,
Co. Kildare, W34 DX27.
T: +353 (045) 254211
info@corrconsult.ie

www.corrconsult.ie

30th January 2025

Re: Scheme Details: N80 Leagh Bends Scheme
Client Details: Laura Nolan of Ballyknockan, Fenagh, Co. Carlow
CPO Ref: 120

Dear Sirs,

We act on behalf of the above property owner who has been served with notice of the making of the above Compulsory Purchase Order. Having reviewed the drawings and documentation accompanying same, our client has instructed us to object to the confirmation of the Compulsory Purchase Order (CPO) and the Appropriate Assessment Screening and Natura Impact Statement on the following grounds:

1. Surplus Land Acquisition

The landowner object to the acquisition of lands which appear to be surplus for the scheme requirements.

2. Drainage

Inadequate drainage details have been provided along the proposed new roadway regarding the realignment of existing drains that may be severed by the proposed new road and there are concerns about adverse drainage problems to the retained lands during and after the construction of the new road. There is insufficient information in relation to the capacity of the existing drains to take the increased flows of water arising from the scheme even with the proposed attenuation. Water offtake will now be at focused locations rather than along the entire road. The owner requests a header drain along the fence line of the new road.

3. Culvert and Access

There is an existing culvert over the open drain in temporary plot references 120d.301 and 120f.301. This culvert and access over it between the lands north and south of the drain must be maintained at all times. The culvert needs to be appropriately dealt with as part of works on the drain. This may include the construction of a new larger capacity culvert so as not to create a restriction on water flow in the drain.

4. Access – General

A gate is being closed up from the N80.

5. Access Road Details

Insufficient information has been supplied regarding the proposed access at the attenuation pond.

6. Other Matters

Such other relevant matters that may arise when more detailed design information is made available.

The information supplied by the Acquiring Authority is incomplete and may change. We reserve the right to include other grounds of objection and to elaborate on the above listed grounds of objection when further information is made available to us by the Acquiring Authority and to tender these at the An Bord Pleanála Hearing. We request that an Oral Hearing be held in relation to the scheme.

Yours faithfully,



Tom Corr MAgrSc, FSCSI, FRICS, ACI Arb
RICS Registered Valuer
PSRA Licence No. 003033-004513
Chartered Valuation Surveyor
Agriculture Consultant/Agronomist
Email: tom.corr@corrconsult.ie
Mobile: (086) 2596675

Aisling Reilly

From: LAPS
Sent: Tuesday 4 February 2025 11:38
To: Aisling Reilly
Subject: FW: N80 Leagh Bends Scheme - Submission to An Bord Pleanála
Attachments: Objection Letter to ABP - Ref. 119.pdf

From: jennifer.ryan@corrconsult.ie <jennifer.ryan@corrconsult.ie>
Sent: Thursday 30 January 2025 16:46
To: SIDS <sids@pleanala.ie>; LAPS <laps@pleanala.ie>
Cc: 'Tom Corr' <tom.corr@corrconsult.ie>
Subject: N80 Leagh Bends Scheme - Submission to An Bord Pleanála

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Dear Sirs,

Please see attached Submission prepared by Tom Corr on behalf of his clients, John Brooks and Marie Brooks, CPO Ref. 119, whom Tom Corr is representing on this N80 Leagh Bends Scheme.

Please confirm safe receipt of this email and its contents.

Kind Regards,

Jennifer Ryan
Office Manager
Mob: (083) 8169000
Tel: (045) 254211
Email: jennifer.ryan@corrconsult.ie
Web: www.corrconsult.ie



CORR is the trading name of Corr Property Consultants Ltd.
Company Registered Number: 520536, PSRA Licence Number: 003033
Registered Office: Oakwood, Mountrice, Monasterevin, Co. Kildare, W34 DX27.

The information contained in this email is *without prejudice/subject to contract/contract denied*

The contents of this email are strictly confidential and may be legally privileged and are intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient, any copying, disclosure, distribution or any other action taken or omitted to be taken in reliance on it, is strictly prohibited and may be unlawful. Any particulars that are given are on the understanding that they will not be construed as part of a contract, conveyance or lease. Any information with regard to value or price contained in this email is purely and only marketing advice and it does not constitute a valuation. Whilst

Our Ref: TC/JR



An Bord Pleanála
64, Marlborough Street
Dublin 1.
Via Email: sids@pleanala.ie

Corr
Oakwood, Mountrice,
Monasterevin,
Co. Kildare, W34 DX27.
T: +353 (045) 254211
info@corrconsult.ie
www.corrconsult.ie

30th January 2025

Re: Scheme Details: N80 Leagh Bends Scheme
Client Details: Marie Brooks and John Brooks of Kilcoole, Rathoe, Co. Carlow
CPO Ref: 119

Dear Sirs,

We act on behalf of the above property owners who have been served with notice of the making of the above Compulsory Purchase Order. Having reviewed the drawings and documentation accompanying same, our clients have instructed us to object to the confirmation of the Compulsory Purchase Order (CPO) and the Appropriate Assessment Screening and Natura Impact Statement on the following grounds:

1. Surplus Land Acquisition

The landowners object to the acquisition of lands which appear to be surplus for the scheme requirements.

2. Drainage

There is currently a flawed drainage design on the road which has not been amended. The owners need an assurance that the new works will properly drain the public road and not cause drainage issues to their property.

3. Location of Water Valve/Metre

The water metre needs to be moved closer to the house as it is currently a road hazard.

4. CPO Schedule

CPO Plot 119a.201 is not public road as it was never dedicated as public road and has been maintained by the owners over a very long period of time.

5. Other Matters

Such other relevant matters that may arise when more detailed design information is made available.



The information supplied by the Acquiring Authority is incomplete and may change. We reserve the right to include other grounds of objection and to elaborate on the above listed grounds of objection when further information is made available to us by the Acquiring Authority and to tender these at the An Bord Pleanála Hearing. We request that an Oral Hearing be held in relation to the scheme.

Yours faithfully,



Tom Corr MAgrSc, FSCSI, FRICS, ACI Arb
RICS Registered Valuer
PSRA Licence No. 003033-004513
Chartered Valuation Surveyor
Agriculture Consultant/Agronomist
Email: tom.corr@corrconsult.ie
Mobile: (086) 2596675

Aisling Reilly

From: LAPS
Sent: Tuesday 4 February 2025 11:37
To: Aisling Reilly
Subject: FW: N80 Leagh Bends Scheme - Submission to An Bord Pleanála
Attachments: Objection Letter. to ABP - Ref. 117.pdf

From: jennifer.ryan@corrconsult.ie <jennifer.ryan@corrconsult.ie>
Sent: Thursday 30 January 2025 10:57
To: SIDS <sids@pleanala.ie>; LAPS <laps@pleanala.ie>
Cc: 'Tom Corr' <tom.corr@corrconsult.ie>
Subject: N80 Leagh Bends Scheme - Submission to An Bord Pleanála

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Dear Sirs,

Please see attached Submission prepared by Tom Corr on behalf of his clients, O'Toole Energy Limited, CPO Ref. 117, whom Tom Corr is representing on this N80 Leagh Bends Scheme.

Please confirm safe receipt of this email and its contents.

Kind Regards,

Jennifer Ryan
Office Manager
Mob: (083) 8169000
Tel: (045) 254211
Email: jennifer.ryan@corrconsult.ie
Web: www.corrconsult.ie



CORR is the trading name of Corr Property Consultants Ltd.

Company Registered Number: 520536, PSRA Licence Number: 003033

Registered Office: Oakwood, Mountrice, Monasterevin, Co. Kildare, W34 DX27.

The information contained in this email is *without prejudice/subject to contract/contract denied*

The contents of this email are strictly confidential and may be legally privileged and are intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient, any copying, disclosure, distribution or any other action taken or omitted to be taken in reliance on it, is strictly prohibited and may be unlawful. Any particulars that are given are on the understanding that they will not be construed as part of a contract, conveyance or lease. Any information with regard to value or price contained in this email is purely and only marketing advice and it does not constitute a valuation. Whilst

Our Ref: TC/JR

CORR

An Bord Pleanála
64, Marlborough Street
Dublin 1.

Via Email: sids@pleanala.ie

Corr
Oakwood, Mountrice,
Monasterevin,
Co. Kildare, W34 DX27.
T: +353 (045) 254211
info@corrconsult.ie

www.corrconsult.ie

30th January 2025

Re: Scheme Details: N80 Leagh Bends Scheme
Client Details: O'Toole Energy Limited, Rathbawn, Tullow, Co. Carlow
CPO Ref: 117

Dear Sirs,

We act on behalf of the above property owners who have been served with notice of the making of the above Compulsory Purchase Order. Having reviewed the drawings and documentation accompanying same, our clients have instructed us to object to the confirmation of the Compulsory Purchase Order (CPO) and the Appropriate Assessment Screening and Natura Impact Statement on the following grounds:

1. Surplus Land Acquisition

The landowners object to the acquisition of lands which appear to be surplus for the scheme requirements.

2. Drainage

Inadequate drainage details have been provided along the proposed new roadway regarding the realignment of existing drains that may be severed by the proposed new road and there are concerns about adverse drainage problems to the retained lands during and after the construction of the new road. There is insufficient information in relation to the capacity of the existing drains to take the increased flows of water arising from the scheme even with the proposed attenuation. Water offtake will now be at focused locations rather than along the entire road. The owners request a header drain along the fence line of the new road.

3. Access – General

A gate is being closed up.

4. Access Road Details

Insufficient information has been supplied regarding the proposed access at the attenuation pond.

5. Other Matters

Such other relevant matters that may arise when more detailed design information is made available.

The information supplied by the Acquiring Authority is incomplete and may change. We reserve the right to include other grounds of objection and to elaborate on the above listed grounds of objection when further information is made available to us by the Acquiring Authority and to tender these at the An Bord Pleanála Hearing. We request that an Oral Hearing be held in relation to the scheme.

Yours faithfully,



Tom Corr MAgrSc, FSCSI, FRICS, ACI Arb
RICS Registered Valuer
PSRA Licence No. 003033-004513
Chartered Valuation Surveyor
Agriculture Consultant/Agronomist
Email: tom.corr@corrconsult.ie
Mobile: (086) 2596675

ing Reilly

From: LAPS
Sent: Tuesday 4 February 2025 11:30
To: Aisling Reilly
Subject: FW: N80 Leagh Bends Scheme - Submission to An Bord Pleanála
Attachments: Objection Letter to ABP - Ref. 116.pdf

From: jennifer.ryan@corrconsult.ie <jennifer.ryan@corrconsult.ie>
Sent: Thursday 30 January 2025 10:42
To: SIDS <sids@pleanala.ie>; LAPS <laps@pleanala.ie>
Cc: 'Tom Corr' <tom.corr@corrconsult.ie>
Subject: N80 Leagh Bends Scheme - Submission to An Bord Pleanála

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Dear Sirs,

Please see attached Submission prepared by Tom Corr on behalf of his clients, John Nolan and Maura Nolan, CPO Ref. 116, whom Tom Corr is representing on this N80 Leagh Bends Scheme.

Please confirm safe receipt of this email and its contents.

Kind Regards,

Jennifer Ryan
Office Manager
Mob: (083) 8169000
Tel: (045) 254211
Email: jennifer.ryan@corrconsult.ie
Web: www.corrconsult.ie



CORR is the trading name of Corr Property Consultants Ltd.

Company Registered Number: 520536, PSRA Licence Number: 003033

Registered Office: Oakwood, Mountrice, Monasterevin, Co. Kildare, W34 DX27.

The information contained in this email is *without prejudice/subject to contract/contract denied*

The contents of this email are strictly confidential and may be legally privileged and are intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient, any copying, disclosure, distribution or any other action taken or omitted to be taken in reliance on it, is strictly prohibited and may be unlawful. Any particulars that are given are on the understanding that they will not be construed as part of a contract, conveyance or lease. Any information with regard to value or price contained in this email is purely and only marketing advice and it does not constitute a valuation. Whilst

Our Ref: TC/JR

An Bord Pleanála
64, Marlborough Street
Dublin 1.
Via Email: sids@pleanala.ie

CORR

Corr
Oakwood, Mountrice,
Monasterevin,
Co. Kildare, W34 DX27.
T: +353 (045) 254211
info@corrconsult.ie

www.corrconsult.ie

30th January 2025

Re: Scheme Details: N80 Leagh Bends Scheme
Client Details: John Nolan and Maura Nolan of Graiguenaspidogue, Nurney, Co. Carlow
CPO Ref: 116

Dear Sirs,

We act on behalf of the above property owners who have been served with notice of the making of the above Compulsory Purchase Order. Having reviewed the drawings and documentation accompanying same, our clients have instructed us to object to the confirmation of the Compulsory Purchase Order (CPO) and the Appropriate Assessment Screening and Natura Impact Statement on the following grounds:

- 1. Noise**
Inadequate information has been provided regarding the mitigation measures that are being proposed to control noise pollution from the scheme during the works and after construction.
- 2. Drainage**
The owners are concerned that existing culverts and drains at their property may be negatively impacted by the works leading to problems at their property.
- 3. Screening and Planting**
As part of the scheme works, trees are to be removed on the opposite side of the public road to their house. This will negatively impact on the environment and the amenity of their property. There does not appear to be an adequate replacement proposal.
- 4. Other Matters**
Such other relevant matters that may arise when more detailed design information is made available.

The information supplied by the Acquiring Authority is incomplete and may change. We reserve the right to include other grounds of objection and to elaborate on the above listed grounds of objection when further information is made available to us by the Acquiring Authority and to tender these at the An Bord Pleanála Hearing. We request that an Oral Hearing be held in relation to the scheme.

Yours faithfully,



Tom Corr MAgrSc, FSCSI, FRICS, ACI Arb
RICS Registered Valuer
PSRA Licence No. 003033-004513
Chartered Valuation Surveyor
Agriculture Consultant/Agronomist
Email: tom.corr@corrconsult.ie
Mobile: (086) 2596675

Aisling Reilly

From: LAPS
Sent: Tuesday 4 February 2025 11:37
To: Aisling Reilly
Subject: FW: N80 Leagh Bends Scheme - Submission to An Bord Pleanála
Attachments: Objection Letter to ABP - Ref. 111.pdf

From: jennifer.ryan@corrconsult.ie <jennifer.ryan@corrconsult.ie>
Sent: Thursday 30 January 2025 10:45
To: SIDS <sids@pleanala.ie>; LAPS <laps@pleanala.ie>
Cc: 'Tom Corr' <tom.corr@corrconsult.ie>
Subject: N80 Leagh Bends Scheme - Submission to An Bord Pleanála

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Dear Sirs,

Please see attached Submission prepared by Tom Corr on behalf of his client, John Nolan, CPO Ref. 111, whom Tom Corr is representing on this N80 Leagh Bends Scheme.

Please confirm safe receipt of this email and its contents.

Kind Regards,

Jennifer Ryan
Office Manager
Mob: (083) 8169000
Tel: (045) 254211
Email: jennifer.ryan@corrconsult.ie
Web: www.corrconsult.ie



CORR is the trading name of Corr Property Consultants Ltd.

Company Registered Number: 520536, PSRA Licence Number: 003033

Registered Office: Oakwood, Mountrice, Monasterevin, Co. Kildare, W34 DX27.

The information contained in this email is *without prejudice/subject to contract/contract denied*

The contents of this email are strictly confidential and may be legally privileged and are intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient, any copying, disclosure, distribution or any other action taken or omitted to be taken in reliance on it, is strictly prohibited and may be unlawful. Any particulars that are given are on the understanding that they will not be construed as part of a contract, conveyance or lease. Any information with regard to value or price contained in this email is purely and only marketing advice and it does not constitute a valuation. Whilst

Our Ref: TC/JR

An Bord Pleanála
64, Marlborough Street
Dublin 1.

Via Email: sids@pleanala.ie

CORR

Corr
Oakwood, Mountrice,
Monasterevin,
Co. Kildare, W34 DX27.
T: +353 (045) 254211
info@corrconsult.ie

www.corrconsult.ie

30th January 2025

Re: Scheme Details: N80 Leagh Bends Scheme
Client Details: John Nolan of Graiguenaspidogue, Nurney, Co. Carlow
CPO Ref: 111

Dear Sirs,

We act on behalf of the above property owner who has been served with notice of the making of the above Compulsory Purchase Order. Having reviewed the drawings and documentation accompanying same, our client has instructed us to object to the confirmation of the Compulsory Purchase Order (CPO) and the Appropriate Assessment Screening and Natura Impact Statement on the following grounds:

1. Access

The owner is concerned that the new access point may not be adequate for large farm machinery.

2. Old Section of Public Road

There is a lack of clarity in relation to how the redundant section of the public road will be dealt with. This creates a potential risk. The owner requests that the southern end of the road be closed off in a robust and proper manner to prevent access to the redundant road.

3. Other Matters

Such other relevant matters that may arise when more detailed design information is made available.

The information supplied by the Acquiring Authority is incomplete and may change. We reserve the right to include other grounds of objection and to elaborate on the above listed grounds of objection when further information is made available to us by the Acquiring Authority and to tender these at the An Bord Pleanála Hearing. We request that an Oral Hearing be held in relation to the scheme.

Yours faithfully,



Tom Corr MAgrSc, FSCSI, FRICS, ACI Arb
RICS Registered Valuer
PSRA Licence No. 003033-004513
Chartered Valuation Surveyor
Agriculture Consultant/Agronomist
Email: tom.corr@corrconsult.ie
Mobile: (086) 2596675

Aisling Reilly

From: LAPS
Sent: Wednesday 29 January 2025 14:49
To: Aisling Reilly
Subject: FW: N80 Leagh Bends Scheme - Submission to An Bord Pleanála
Attachments: Objection Lr. to ABP - 29.1.25.pdf

From: SIDS <sids@pleanala.ie>
Sent: Wednesday 29 January 2025 11:52
To: LAPS <laps@pleanala.ie>
Subject: FW: N80 Leagh Bends Scheme - Submission to An Bord Pleanála

From: jennifer.ryan@corrconsult.ie <jennifer.ryan@corrconsult.ie>
Sent: Wednesday, January 29, 2025 11:39 AM
To: SIDS <sids@pleanala.ie>; LAPS <laps@pleanala.ie>
Cc: 'Tom Corr' <tom.corr@corrconsult.ie>
Subject: N80 Leagh Bends Scheme - Submission to An Bord Pleanála

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Dear Sirs,

Please see attached Submission prepared by Tom Corr on behalf of his clients, CPO Ref. 123, whom Tom Corr is representing on this N80 Leagh Bends Scheme.

Please confirm safe receipt of this email and its contents.

Kind Regards,

Jennifer Ryan
Office Manager
Mob: (083) 8169000
Tel: (045) 254211
Email: jennifer.ryan@corrconsult.ie
Web: www.corrconsult.ie



SCSI

VALUER
Chartered Fellow



RICS®

CORR is the trading name of Corr Property Consultants Ltd.
Company Registered Number: 520536, PSRA Licence Number: 003033
Registered Office: Oakwood, Mountrice, Monasterevin, Co. Kildare, W34 DX27.
The information contained in this email is without prejudice/subject to contract/contract denied

Our Ref: TC/JR

An Bord Pleanála
64, Marlborough Street
Dublin 1.
Via Email: sids@pleanala.ie



Corr
Oakwood, Mountrice,
Monasterevin,
Co. Kildare, W34 DX27.
T: +353 (045) 254211
info@corrconsult.ie

www.corrconsult.ie

29th January 2025

Scheme Details: N80 Leagh Bends Scheme
CPO Owner Details as per Schedule: The Legal Personal Representatives of Alan Shirley (Deceased)
CPO Ref: 123
Folio: CW23053F

Dear Sirs,

We act on behalf of the owner of CPO Ref. 123, who has been served with notice of the making of the above Compulsory Purchase Order. Having reviewed the drawings and documentation accompanying same, our clients have instructed us to object to the confirmation of the Compulsory Purchase Order (CPO) and the Appropriate Assessment Screening and Natura Impact Statement on the following grounds:

- 1. CPO Schedule**
The CPO Schedule lists the owner of CPO Ref. 123 as "The Legal Representatives of Alan Shirley (Deceased)". This is incorrect and should be amended to "The Legal Representatives of Rhoda Shirley (Deceased)".
- 2. Surplus Land Acquisition**
The landowners object to the acquisition of lands which appear to be surplus to the scheme requirements. There is a very significant wide strip of land in the CPO as proposed.
- 3. Access – Gate Closures**
Currently there are three gateways from the N80 into the lands. The Council's proposal is to close these three gates and replace them with one single gate and this is unacceptable. Currently there is a Section 117 claim under the Succession Act, 1965 on the lands. The provision of only one access point at the very northern end of the land completely hinders the ability of "The Legal Representatives of Rhoda Shirley (Deceased)" in properly dealing with the lands as the lands was to be divided between three daughters.
- 4. Other Matters**
Such other relevant matters that may arise when more detailed information is made available.

We reserve the right to include other grounds of objection and to elaborate on the above listed grounds of objection when further information is made available to us by the Acquiring Authority and to tender these at the An Bord Pleanála Hearing. We request that an Oral Hearing be held in relation to the scheme.

Yours faithfully,



Tom Corr MAgrSc, FSCSI, FRICS, AClArb
RICS Registered Valuer
PSRA Licence No. 003033-004513
Chartered Valuation Surveyor
Agriculture Consultant/Agronomist
Email: tom.corr@corrconsult.ie
Mobile: (086) 2596675

AN BORD PLEANÁLA
LDG- _____
ABP- _____
31 JAN 2025
Fee: € _____ Type: _____
Time: 9:00 By: pest

Kilcoole House
Rathoe
Co. Carlow
R93 DE24

27th January 2025

TO WHOM IT MAY CONCERN

Re: N80 Leagh Bends Scheme - Drawing number 19165 -01-0191

I am writing to formally express my concerns and objections regarding the construction of a compound building located directly opposite my residence at Kilcoole House. And in particular to the planned use when roadworks are completed in the area. I believe the compound, if left as a concrete compound would have several negative impacts on our community and my property.

I wish to raise the following objections:

1. **Aesthetic Concerns:** the compound could detract from the overall character of the neighbourhood
2. **Property Value impact:** The compound may lead to a decrease in property values in the surrounding area and the value of my own property
3. **Safety Issues:** The influx of vehicles accessing the compound on a temporary or permanent basis

I look forward to hearing from you in response.

Kind regards

C Farrell

Caitriona Farrell

Property owner

Tel: 086 8429447

E: *CaitrionaFarrell@gmail.com*

AN BORD PLEANÁLA

LDG- _____
ABP- _____

31 JAN 2025

Fee: € _____ Type: _____

Time: 9:00 By: post

Kilcoole House
Rathoe
Co. Carlow
R93 DE24

27th January 2025

TO WHOM IT MAY CONCERN

Re: N80 Leagh Bends Scheme - Drawing number 19165 -01-0191

I am writing to formally express my concerns and objections regarding the construction of a compound building located directly opposite site where I have planning permission to build a private residence adjacent to Kilcoole House. And in particular to the planned use when roadworks are completed in the area. I believe the compound, if left as a concrete compound would have several negative impacts on our community and my property.

I wish to raise the following objections:

1. **Aesthetic Concerns:** the compound could detract from the overall character of the neighbourhood
2. **Property Value impact:** The compound may lead to a decrease in property values in the surrounding area and the value of my own property
3. **Safety Issues:** The influx of vehicles accessing the compound on a temporary or permanent basis

I look forward to hearing from you in response.

Kind regards

Ronan Farrell

Ronan Farrell, property owner

Tel: 085 1034407

E: ronan_farrell@live.ie

AN BORD PLEANÁLA

LDG- _____
ABP- _____

3 1 JAN 2025

Fee: € _____ Type: _____
Time: 9:00 By: pe-87

Kilcoole House
Rathoe
Co. Carlow
R93 DE24

27th January 2025

TO WHOM IT MAY CONCERN

Re: N80 Leagh Bends Scheme - Drawing number 19165 -01-0191

I am writing to formally express my concerns and objections regarding the construction of a compound building located directly opposite my residence at Kilcoole House. And in particular to the planned use when roadworks are completed in the area. I believe the compound, if left as a concrete compound would have several negative impacts on our community and my property.

I wish to raise the following objections:

1. **Aesthetic Concerns:** the compound could detract from the overall character of the neighbourhood
2. **Property Value impact:** The compound may lead to a decrease in property values in the surrounding area and the value of my own property
3. **Safety Issues:** The influx of vehicles accessing the compound on a temporary or permanent basis

I look forward to hearing from you in response.

Kind regards



John Farrell, Property owner

Tel: 085 2582383

E: johnafarrell0@gmail.com

Graiguenaspidogue
Nurney
Co. Carlow
R93H566 / R93W8W9

22nd January, 2025

AN BORD PLEANÁLA	
LDG-	_____
ABP-	_____
27 JAN 2025	
Fee: €	_____ Type: _____
Time: 9.11	By: Reg Post

The Secretary,
An Bord Pleanála,
64 Marlborough Street,
Dublin 1.
D01V902.

Re: N80 Leagh Bends Scheme

To Whom It May Concern,

As residents located in this immediate area, we are very concerned by the fact that no clear plan as to how the entrance is to be treated relative to the safety of entry and exit at the junction to our homes.

It would seem from the drawings from Carlow County Council that no consideration has been given to our safety as we go to and leave our homes. Will this specific section be made safe by Carlow County Council or as part of the above scheme?

It is also proposed that the bank at this entrance is to be taken as part of the scheme. This bank / land is owned, and has been maintained by Maureen Regan, who has not been consulted.

The scheme will have to deal with the noise levels from traffic as Maureen Regan's house is so close to the road side. Will a noise buffer be provided?

How long will it take to complete the works? How will we, as residents be accommodated during this work in the context of safety, having to deal with noise, traffic and machinery being parked on site?

Your response to the above concerns / queries would be appreciated at your earliest convenience.

Yours sincerely,

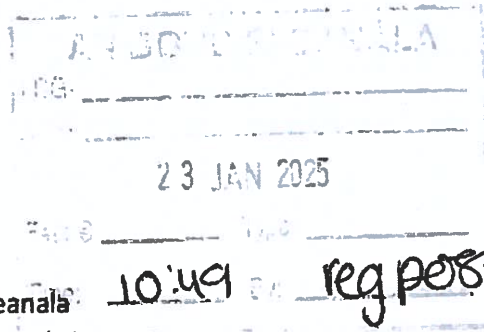
Maureen Regan
Maureen Regan

Linda Kenny
Linda Kenny

Michael Regan
Michael Regan
087 9717855

Paul Kenny
Paul Kenny

Orla Kenny
Orla Kenny



The Residents
L30504 Kyleballyhue
Carlow
Co. Carlow
January 16th 2025

An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V209

Re: N80 Leigh Bends Scheme

Subject: Oral Hearing Request for Safe Turning Measures at the Castletown Crossroads onto L30504 and L7148 from the N80 Wexford Road, Carlow.
Application under Section 177AE of the Planning and Development Act, 2000

To whom it may concern,

With reference to the above road improvement scheme, we are writing to express our deep concern regarding the omission of safe turning measures onto L30504 and L7148 from the main N80 Carlow to Wexford Road and seek to have these turning measures as an addition to the plan.

As residents of L30504, we have all experienced and witnessed for many decades the significant dangers posed by the current road configuration. This straight point in the road represents the first opportunity for traffic travelling from Carlow, or traffic which has exited the M9 coming from Junction 5, to overtake or increase speed considerably to speeds of 100kph+. Turning onto L30504 coming from Carlow and L7148 coming from Ballon requires vehicles to halt in the middle of a very busy and fast-moving national primary route, putting vehicles at high risk of being struck (see map attached).

The lack of safe turning measures on this road affects many families, businesses, and individuals who rely on L30504 and L7148 daily. It is our understanding from meeting with Senior Engineer Ray Wickham of Carlow County Council that the road was surveyed for suitability for turning lanes during the preliminary planning phase. We were advised that the volume of traffic on the road does not justify the implementation of a turning lane. With due respect, this conclusion *fails* to acknowledge the grave safety risks involved and the volume of traffic that has increased on the N80 over recent years. **Every time we attempt to access our road, we are placed in serious danger, and the exclusion of turning lanes in this plan demonstrates a lack of consideration for driver's and residents' safety alike.**

It is our contention that since the survey was carried out, L30504 is now subjected to more traffic due to extra commercial activity. This includes heavy good vehicles using the road regularly. Given that there have been several traffic accidents at Castletown Cross in recent years, this increase in traffic volumes will certainly lead to an increase in traffic accidents. **It is deeply concerning that these risks are being dismissed based on traffic volume statistics rather than an assessment of potential harm to the people living and working in this area.**

We would respectfully request an oral hearing to further put forward our case and trust you will consider our request favourably.

Yours sincerely,

On behalf of L30504 Residents

A handwritten signature in black ink, appearing to read 'Matt Kennedy', written over a horizontal line.

Matthew Kennedy
Kyleballyhue
Carlow
R93N1F8.

[Signature]

Resident & Driver

Cleo Kennedy

Resident & Driver

Aoibhín Kennedy

Resident & Driver

Mgt Nolan

Resident & Driver

Mary DeLo

Resident & Driver

TARA McGRATH *TC*

Resident & Driver

[Signature]

Resident & Driver

[Signature]

Resident & Driver

[Signature]

Resident & Driver

[Signature]

Resident & Driver

[Signature]

Resident & Driver

[Signature]

Resident & Driver

Phil Neenan

Resident & Driver

Amy Broderick

Resident & Driver

Helen Kennedy

Resident & Driver

Robyn Kennedy

Resident & Driver

[Signature]

Resident & Driver

Brenda Coughlan

Resident & Driver

[Signature]

Resident & Driver

Aunt Marie Murphy

Resident & Driver

[Signature]

Resident & Driver

Gara Fitzpatrick

Resident & Driver

Carol FitzPatrick

Resident & Driver

Donal Murphy

Resident & Driver

[Signature]

Resident & Driver

[Signature]

Resident & Driver

Elizabeth Kennedy

Resident & Driver

Swain White

Resident & Driver

William Moore

Resident & Driver

John Maher

Resident & Driver

Peter O'Sullivan

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Sabrina McGrath

Resident & Driver

Steve McGrath

Resident & Driver

Nial Moore

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

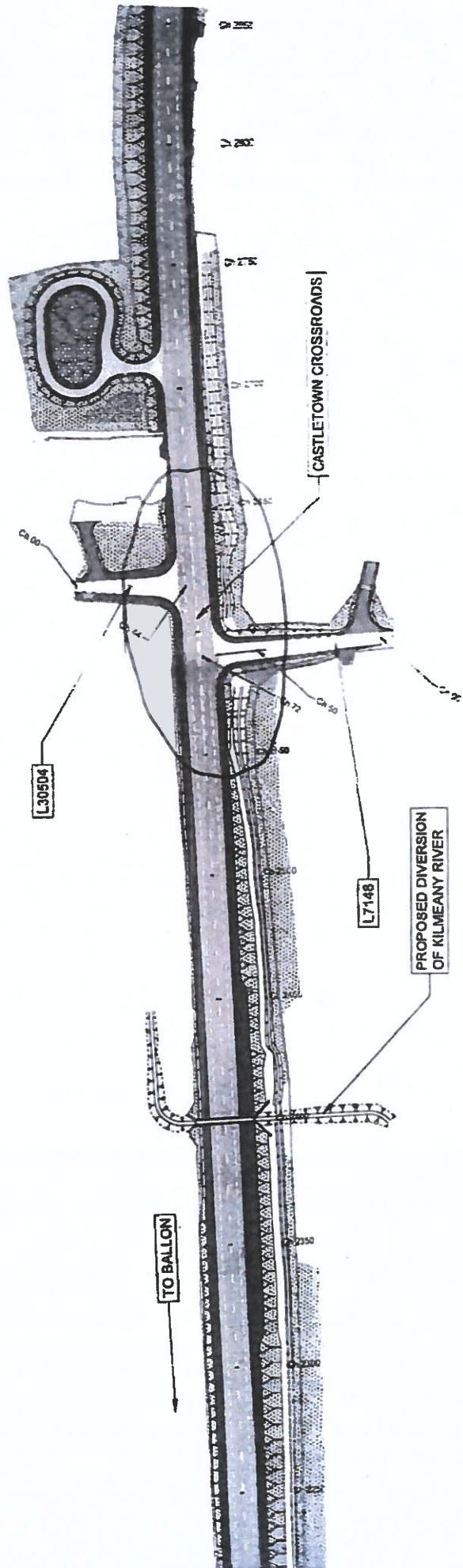
Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver

Resident & Driver



13 January 2025

An Bord Pleanála
64 Marlborough Street,
Dublin 1
D01 V902

Re: **Carlow County Council
Compulsory Purchase Order (No. 1) 2024
N80 Leagh Bends Scheme
Submission**

Landowner (s): **Donal Murphy**
Address: **Castletown, Carlow, Co Carlow**
CPO Ref: **127**

Dear Sirs,

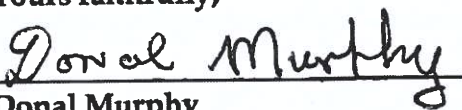
I have been served with notice of the making of the above compulsory purchase order. Having reviewed the Section 177AE application drawings relevant to my property, general correspondence and all documentation available to me at this time, I wish to object to the confirmation by you of these for the following reasons:

1. I object to the proposed closure of the current access into my lands, doghouses and dog-runs at plot references 127i.201 & 127j.201 (field gate onto the N80 road at present), which is directly and deliberately positioned (approximately 20 meters) opposite my house & farmyard for management and security reasons. The Council proposes to replace this access with a new one, off the local road (L7148), some 150 meters away from my house. I've requested from the Council that a new pedestrian style gate be installed opposite my house, as part of the new boundary fence to help reduce the management and security risks to my lands and doghouses.
2. I object to the lack of sufficient information provided to me about the proposed new access into my lands through plot reference 127m.301, including the design/ finish of any access road, gate type/ size, visibility issues onto the local road (L7148).
3. I strenuously object to the proposed closure of the main entrance into our home at plot reference 127l.201, only to be replaced with a proposed new access road leading into our farmyard entrance. The Council is proposing at this time to simply construct a short section of block wall to close our existing entrance, which is totally unacceptable to us. There is no guarantee that they will be capable of doing this proposed work, without permanently interfering with our existing walls and overall property. The existing walls either side of this entrance are not block walls, thus what the Council is proposing does not match.

AN BORD PLEANÁLA	
LDG- _____	
ABP- _____	
17 JAN 2025	
Fee: € _____	Type: _____
Time: 8:46	By: Reg Post

4. I object to the limited information provided to us in relation to the proposed new access into our property off the local road (L30504) at plot references 127t.201 & 127s.201. I also object to the planned permanent acquisition of these plots. If they are required, why not acquire them temporarily. The Council is proposing to close the road immediately adjacent to our house at the N80 road, with what appears to be a grass verge. This would appear totally inadequate to fully control the movement of traffic at this location onto the N80 road and ultimately create a traffic hazard. A higher level of design details and consultation with us is required from the Council about this proposed new access and road changes.
5. I object to the lack of provision of new boundaries at plot references 127t.201, 127s.201, 127q.201 & 127r.201. Substantial changes to our access and local road network are being proposed by the Council with limited written commitments and design details from them on the future security of our home.
6. I object to the lack of information provided to us re any proposed changes in the levels of the new N80 road, local road (L30504), planned closed local road and proposed new access road along our property.
7. Inadequate drainage details and written commitments have been provided to me by the Council. I have serious concerns about possible flooding of and the negative impacts on my home and retained property, as a direct result of the proposed road works. It is essential that the realignment of existing drains that may be affected, existing culverts reinstated and ensuring outfall locations are appropriate, so that adverse drainage/ flooding problems to my retained property does not occur. I am looking for a written commitment from the council that their scheme works will not flood my property.
8. Any services interfered with during the works by the contractor are to be maintained operational at all times and on completion of said works are to be reinstated fully and properly as were. I currently have a water pipe under the N80 road from my house to my lands and doghouses. Access to my property during the works is to be fully maintained at all times with no obstructions, unauthorised parking of vehicles or general nuisance at this property by the council or its designated contractors.
9. I reserve the right to raise such other relevant matters as may arise when and if more detailed design information pertaining to the area and my property is known or made available to me.

Yours faithfully,


Donal Murphy

Ballykealy

Ballon

Co Carlow

15/01/2025

Dear Sir,

I am writing to you in connection with the N80 LeaghBends Scheme Co Carlow,

I am directly affected with the Proposed Plan, closing off the Road Frontage at our premises at Graigue Na Spidogue Nurney Co Carlow, The closing off would have a serious impact on any future business at the premises,

I completely understand the upgrade works on the N80 has to be done as a matter of urgency ,

I would appreciate an opportunity to meet and discuss the proposed changes,

Kindest Regards



AN BORD PLEANÁLA	
LDG- _____	
ABP- _____	
16 JAN 2025	
Fee: € _____	Type: _____
Time: 9.15	By: Rsk

Aisling Reilly

From: Elizabeth Cass <ecass@jamescody.ie>
Sent: Tuesday 7 January 2025 15:57
To: Aisling Reilly
Subject: RE: Request a call back

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

Aisling,

Can you please place my clients submission on both cases i.e. 321417 and 321416.

Kind regards,

Elizabeth Cass
Partner
JAMES CODY & SONS LLP
The Parade
Bagenalstown
Co. Carlow
DX 167 001 Bagenalstown
Tel: (059) 9721303



LAW SOCIETY
OF IRELAND
PRACTISING
SOLICITOR

CONFIDENTIALITY WARNING: *The contents of this e-mail and any attachment are the property of James Cody & Sons LLP, Solicitors and intended for the addressee only. The above and/or the attached is solicitor/client privileged and/or confidential and is for the use only of the intended recipient. Any reader of this email who is not the intended recipient or the employee or agent responsible to deliver to the intended recipient, is notified that any dissemination, distribution, copying, forwarding, or printing of this email, or any part of it, is strictly prohibited. If you receive this communication in error please notify us immediately and delete all copies from your computer system. Subsequent alterations to this electronic message after its transmission will be disregarded.*

CYBER CRIME ALERT: *In the interests of cyber security, please do not transfer any money to our bank account until you have confirmed our account details directly by telephone with the individual in James Cody & Sons LLP, Solicitors who is responsible for handling your file. We will never send bank account details via email. In the event that you receive any email(s), purporting to be from this firm, requesting you to make changes to account details, please do not respond to such email(s) and please contact this office immediately. James Cody & Sons LLP, Solicitors cannot and does not accept any responsibility or liability for any loss or damage of any nature, kind or description in respect of any electronic fund transfer or any monies either by you to our bank account or by this Firm to your bank account.*

VIRUS WARNING: *You are requested to carry out your own virus check before opening any attachment. James Cody & Sons LLP, Solicitors accept no liability for any loss or damage which may be caused by software viruses.*

From: Aisling Reilly <A.Reilly@pleanala.ie>
Sent: Tuesday 7 January 2025 14:33
To: Elizabeth Cass <ecass@jamescody.ie>
Subject: Request a call back

Dear Elizabeth,

Can I call you when you are free, please? It is regarding a case that is with us in An Bord Pleanála.

Thank you very much.

Kind regards,
Aisling

Aisling Reilly
Executive Officer
Strategic Infrastructure Development
An Bord Pleanála
64 Marlborough Street
Dublin 1
D01 V902
Teil: 01-873-7131
Facs: 01-8722684

Má fhaigheann tú an ríomhphost seo lasmuigh de na gnáthuaireanta oibre, ní bheidh mé ag súil le freagra ná gníomh lasmuigh de d'uaireanta oibre féin.

If you receive this email outside of normal working hours, I do not expect a response or action outside of your own working hours

Smaoinigh ar an timpeallacht sula ndéanann tú an ríomhphost seo a phriontáil.

Please consider the environment before printing this mail.

Fógra Rúin: Tá an ríomhphost seo agus aon chomhaid atá nasctha leis faoi rún agus dírithe amháin don seolaí. Má bhfuair tú an ríomhphost seo trí earráid, déan teagmháil le bainisteoir an chórais.

Tabhair faoi deara led thoil: aon tuairimí nochtaithe san ríomhphost seo is iad tuairimí an tseoltóra féin agus níl sé intuigthe gurb iad tuairimí An Bhoird Pleanála nó go gcloíonn siad le polasaithe ráite an Bhoird.

Confidentiality Notice: This email and any files transmitted with it are confidential and intended solely for the addressee. If you have received this email in error please notify the system manager.

Please Note: any views expressed in this email are those of the individual sender and may not necessarily reflect the views or accord with the stated policies of An Bord Pleanála.

James Cody & Sons

Solicitors

Est. 1935

Your Ref:
Our Ref:

EC:LL:10895

20th December 2024

An Board Pleanála,
64 Marlborough Street,
Rotunda,
Dublin 1,

**Re: John Wall and Elizabeth Wall, Graiguenaspiddoge, Nurney, Co. Carlow
Proposed N80 Leagh Bends Scheme, Co. Carlow**

Dear Sirs,

We refer to the above matter and enclose herewith Submission in relation to the proposed N80, Leagh Bends Scheme on behalf of our clients, John and Elizabeth Wall.

You might kindly acknowledge safe receipt of same by return.

Yours faithfully,


Elizabeth Cass
James Cody & Sons

Email: ecass@jamescody.ie

AN BORD PLEANALA	
LDG- _____	
ABP- _____	
23 DEC 2024	
Fee: € _____	Type: _____
Time: 9.28	By: <i>Perf</i>



The Parade,
Bagenalstown
Co. Carlow,
R21 XY06
DX: 167 001
BAGENALSTOWN
TEL: (059) 9721303
Fax: (059) 9721026
Web:
www.jamescody.ie

Principal:
Justin Cody

Solicitors:
Elizabeth Cass
Anita Byrne

Consultant:
Ronan Tierney



Submission to An Bord Pleannala
Re: Our Clients – John Wall and Elizabeth Wall
Graiguenaspiddoge, Nurney, Co. Carlow
Proposed N80 Leagh Bends Scheme

Further to receiving a copy of the notice of the making of a compulsory purchase order from Carlow County Council, we have been requested on behalf of our clients to make the following submission on their behalf.

My clients are the owners of a house contained within Folio 4366F of the Register of Freeholders County Carlow. This is their family home which they have resided in and raised their family for over the past twenty years. At present, there are four adults and three children residing on the property. My clients have eight children, thirty-nine grandchildren and four great grandchildren, all of which frequently visit them and the safety of the children is a great concern to them. Their home is quite recognisable, and they rely on trading from the house, particularly the rear of same.

Under the current proposals regarding the realignment of the N80, there is also the blocking of the local road adjacent to my clients' home. This road, known as the Ballybar Upper Road, is regularly used by my clients to gain access to the local towns of Leighlinbridge, Bagenalstown, Nurney and Tinryland. By using this road, it means that they do not have to join the busy N80 road. This road will now be a cul de sac resulting in my clients only means to leave their property is to merge onto the N80. The straightening on this road will no doubt result in the traffic passing by travelling at a greater speed resulting in more difficulty turning left from their property and even more turning right.

Our clients keep sixteen horses on the land to the rear of the property which comprises two acres. The road at the rear is used to transport the horses. Mr Wall uses a road cart with the horses exercising them on the side road beside the house and also during the summer bringing his grandchildren on trips with them in the cart when they visit.

In addition, my clients also rely on passing traffic in respect of second-hand items that they sell from their home. This trade will suffer greatly as people will be more reluctant to pull in

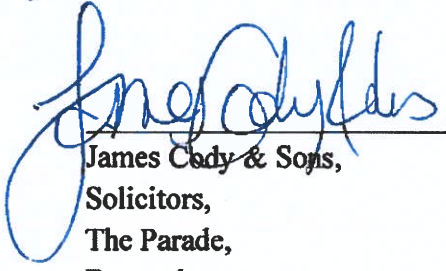
outside the property and will not be able to travel to the property from the side road anymore. The loss of the side road will make them feel more segregated. My clients will also have to deal with the significant inconvenience of the substantial works taking place outside their property which will, no doubt, affect their ability to come and go from their property at certain times during the project which, I understand, is anticipated to take place over a rather significant period of time.

My clients feel that they will be prevented from selling the property as there would be little to any interest in people wishing to live in this location when the works are being carried out and thereafter due again to the close proximity to the roadway, the lack of speed restrictions on the road once it is straightened and with access being restricted. My clients wish to establish if there will be any attempts to slow down traffic to less than 100kph at their location. The loss of the adjacent side road means that they will have to pull out from their property which, as explained, is quite difficult due to the fast movement of the traffic and then they will have to slow down to take the next left turn to bring them to where the adjacent road was previously accessed.

On these and other related accommodation matters there has been no notable engagement by the Council with my clients. I have actively requested information on behalf of my clients and whilst I have been in correspondence and attended meetings, there has been very little information provided and nothing done to address the concerns set out herein nor has any details been provided on how my clients will be accommodated due to the inconvenience caused by the works or the ongoing effect it will have on their enjoyment of their home and their ability to trade. At present, there is no street lighting near their home. The traffic volumes which have been steadily increasing have the effect of currently making the front door shake and the traffic can be heard through the windows in the property. The works that will be carried out and the resulting increase in traffic speed will only add to the noise pollution. I believe that my clients will also have to relocate their horses during the time that the road works will take place as the presence of machinery may agitate them. The horses are always housed in the stables at the rear of the property during bad weather. My clients are also unsure as to whether there will be pedestrian access via the cul de sac beside them and if there will be access for horses through same.

Another concern of my clients is their access to the rear of the property. They are anxious that it would not be reduced in any way.

Dated this 20 day of December, 2024.

Signed: 
James Cody & Sons,
Solicitors,
The Parade,
Bagenalstown,
Co. Carlow.

Aisling Reilly

From: LAPS
Sent: Tuesday 4 February 2025 11:40
To: Aisling Reilly
Subject: FW: Uisce Éireann Submission - N80 Leagh Bends Scheme
Attachments: UÉ_Response N80 Leagh Bends Scheme.pdf

From: SIDS <sids@pleanala.ie>
Sent: Friday 31 January 2025 16:28
To: LAPS <laps@pleanala.ie>
Subject: FW: Uisce Éireann Submission - N80 Leagh Bends Scheme

From: Aisling McGrath(C) <aisling.mcgrath@water.ie>
Sent: Friday, January 31, 2025 4:10 PM
To: SIDS <sids@pleanala.ie>
Subject: Uisce Éireann Submission - N80 Leagh Bends Scheme

Caution: This is an **External Email** and may have malicious content. Please take care when clicking links or opening attachments. When in doubt, contact the ICT Helpdesk.

See attached Uisce Éireann's response.

Regards

Aisling McGrath
Development Management Planning

Uisce Éireann
Smithlands Centre, Waterford Road, Loughboy, Co.Kilkenny R95 W023

M +353 85 136 2434
aisling.mcgrath@water.ie
www.water.ie
Facebook | Twitter | LinkedIn

Is don duine amháin nó don eintiteas amháin ainmnithe ar an seoladh an fhaisnéis agus d'fhéadfadh ábhar faoi rún, faoi phribhléid nó ábhar atá íogair ó thaobh na tráchtála de a bheith mar chuid den fhaisnéis. Tá toirmeasc ar aon daoine nó aon eititis; nach dóibh siúd an fhaisnéis- aon athbhreithniú a dhéanamh, aon atarchur a dhéanamh nó aon athdháileadh a dhéanamh, nó aon úsáid eile a bhaint as an bhfaisnéis, nó aon ghníomh a bhraithfeadh ar an bhfaisnéis seo a dhéanamh agus d'fhéadfaí an dlí a shárú dá ndéanfaí sin. Séanann Uisce Éireann dliteanas as aon ghníomh agus as aon iarmhairt bunaithe ar úsáid neamhúdraithe na faisnéise seo. Séanann Uisce Éireann dliteanas maidir le seachadadh iomlán agus ceart na faisnéise sa chumarsáid seo agus séanann Uisce Éireann dliteanas maidir le haon mhoill a bhaineann leis an bhfaisnéis a fháil. Má tá an ríomh-phost seo



Uisce Éireann Ref: PN25000017127
Planning Ref: Bord Pleanála Case reference: JP01.321416
Planning Authority: Carlow County Council
Issue Date: 31 January 2025

Uisce Éireann
Bosca OP 6000
Baile Átha Cliath 1
D01 WA07
Éire

Uisce Éireann
PO Box 6000
Dublin 1
D01 WA07
Ireland

T: +353 1 89 25000
F: +353 1 89 25001
www.water.ie

Development Location:

In the Townlands of Graiguenaspiddogue, Castletown, Leigh, Ballybeg, Kilballyhue and Kilcoole, Count

Development Description:

Proposed development along a section of the N80 Road known as the N80 Leigh Bends Scheme. A Natura Impact Statement (NIS) accompanies this application

A Chara,

Please accept this submission in respect to the above-referenced planning application. Uisce Éireann (UÉ) has reviewed the plans and particulars submitted with the application and have the following observation(s).

Uisce Éireann's Recommendation: No Objection in Principle

Uisce Éireann's Assessment/Observation(s):

There are Uisce Éireann assets within the road reserve of the N80. Approval from Uisce Éireann's Diversions team must be obtained prior to the commencement of works.

Uisce Éireann's Recommended Condition(s):

1. All development shall be carried out in compliance with Uisce Éireann's *Standard Details and Codes of Practice*.
2. Uisce Éireann does not permit Build Over of its assets. Where the applicant proposes works or build over existing water or wastewater services, the applicant shall have received a written Confirmation of Feasibility (COF) from Uisce Éireann prior to any works commencing.

Reason: To protect the public water and wastewater facilities.

Queries relating to the terms and observations above should be directed to planning@water.ie

PP Ali Robinson

Signed on behalf of Dermot Phelan
Connections and Developer Services

14 January 2025

An Bord Pleanála
64 Marlborough Street,
Dublin 1
D01 V902

AN BORD PLEANÁLA	
LDG- _____	
ABP- _____	
23 JAN 2025	
Fee: € _____	Type: _____
Time: <u>11.04</u>	By: <u>Reg Foster</u>

**Re: Carlow County Council
Compulsory Purchase Order (No. 1) 2024
N80 Leagh Bends Scheme**

Submission

Landowner (s): John and Heather Shirley
Address: Wilton, Leagh, Rathoe, Carlow, Co Carlow
CPO Ref: 122, 135 & 138

Dear Sirs,

We have been served with notice of the making of the above compulsory purchase order. Having reviewed the Section 177AE application drawings relevant to our property, general correspondence and all documentation available to us at this time, we wish to object to the confirmation by you of these for the following reasons:

1. **Bungalow Entrance (plot refs 122j.301 & 122e.201):** for safety reasons, the entrance to the bungalow should be offset and moved away from directly in front of the front door, closer to Carlow town direction.
2. **Width and size of road entrances / access points to Wilton & Bungalow (plot refs 122j.301, 122e.201, 122c.201 & 122k.201) -** these should be adequately wide to safely allow vehicles to pull in off the road in addition to 2 cars both entering and departing simultaneously.
3. **Sound barriers / block walls alongside the road:** There should be effective sound barriers high block wall on both sides of the road, to ensure:
 - a.) The maximum level of acoustic soundproofing for both Wilton & Bungalow residences
 - b.) Enhanced privacy for both residences as they will both be located much closer to the new road construction compared to the existing road
 - c.) On the Wilton side of the road, the wall should be extended for the full length of the adjoining field towards Glynn's garage, to ameliorate noise levels and ensure maximum privacy

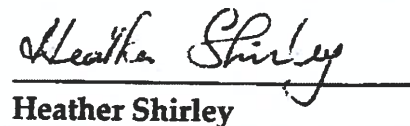
- d.) Both walls should have a stone fascia (as per the current wall and entrance to Wilton).
4. **Low Noise Asphalt:** due to the fact that both dwelling houses will be significantly closer to the newly constructed road, coupled with the projected increase in traffic in the coming years, it is essential that the asphalt that is used on the road surface is of a quality that effectively reduces noise levels vs standard asphalt.
 5. **Residential proximity & soundproofing to residences** - given the proximity of the new road to the residences and the impact on quality of life, it will be necessary to upgrade soundproofing to both houses, for example to include triple glazing and other methods to reduce noise impact.
 6. **Air quality** - due consideration is requested on potential air pollution from both the construction activities and increased traffic levels projected on completion of the project.
 7. **Underpass** - the absence from the plans of an animal underpass, substantially reduces the utility of the land across the road from the farmyard, and as such, significantly impacts the economic viability of farm operations in the long term. The construction of an underpass, potentially as a shared utility with the adjoining Leigh farm should form part of the overall road plan to ensure the cohesiveness and viability of the farm as a unit.
 8. **Farmyard Permanent CPO (plot refs 122f.201, 122k.201 & 122l.201)** - the proposal of a permanent CPO for the entire farmyard area is excessive and overly impactful for the purposes of the project. This should be adequately dealt with by a temporary CPO.
 9. **Relocation of farm operations:** No concession or information is provided in the plans for the relocation of farm buildings and facilities (including sheep & cattle housing, storage & machinery) to ensure the sustainability and continuance of operations of the farm as a going concern and a source of livelihood.
 10. **Access during active construction phase:** no information is provided in the plans for the access to both dwelling houses and farm during the phase when the CPO comes into effect and during construction.
 11. **Temporary CPO to Wilton entrance and front garden (plot ref 138e.301):** the extent of the proposed temporary CPO right up to the exterior walls of the residence is an excessive imposition and overly impactful. A detailed

explanation is requested as to the planning, timings, health and safety & access plans for the dwelling and ongoing impact of the works as a result of this CPO.

12. **The construction of a temporary fence during the works on the boundary of the permanent and temporary CPO area as outlined, will significantly inconvenience Wilton as a dwelling house with regards to disturbance, access and sightlines. Clarity is needed on the type, location and size of this fence and how this impact will be minimised.**
13. **Farmyard and field access gates should be double width - plans are currently showing single gates replacing doubles that are currently in place. The farmyard gates should be of steel panel construction (replacing like with like) for security reasons.**
14. **Barriers on side of entrance roads - the proposed new entrance roads to both Wilton and the farmyard have steep gradients on the outside of the curves, which could be dangerous in cold / icy weather - appropriate barriers / walls should be constructed to mitigate this risk.**
15. **We reserve the right to raise such other relevant matters as may arise when and if more detailed design information pertaining to the area and our property is known or made available to us.**

Yours faithfully,


John Shirley


Heather Shirley